



# Ojai Permanent Supportive Housing

City Council Workshop | 30 September 2025



# Project Objectives

In alignment with the goals of the City Council, Dignity Moves and the design team are tasked with delivering the project according to the following program & priorities:

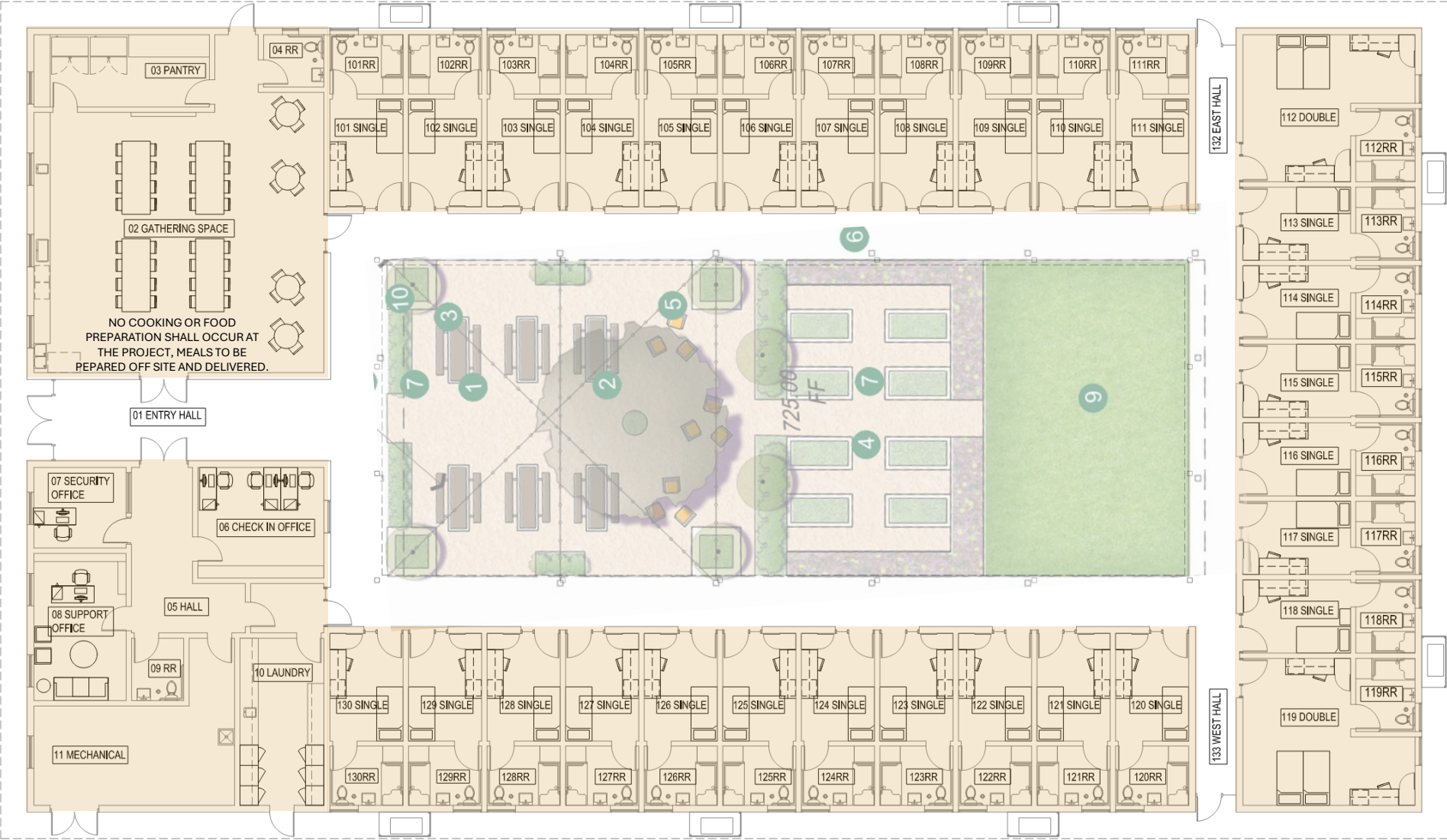
1. Deliver supportive housing solutions for residents of Ojai Tent Town in the form of 30 single room occupancy (SRO) units, along with a community gathering space, laundry room and three offices for administrative and support services.
2. Employ fire resistant construction systems to increase safety and community resilience.
3. Promote climate resiliency through sustainable, low-carbon design and construction.











FURNITURE PLAN GENERAL NOTES:  
 1. FURNITURE PLAN SHOWN FOR REFERENCE ONLY, ITEMS SHOWN HERE AND NOT ON A2.1 SHALL BE PROVIDED BY THE OWNER AND SHALL NOT BE INCLUDED IN THE CONTRACT FOR CONSTRUCTION.

30 September 2025. Drawings and Materials included in this presentation are works-in-progress and intended for discussion purposes only not for bidding, permitting or construction.



Ojai Permanent Supportive Housing  
611 South Montgomery Street, Ojai California

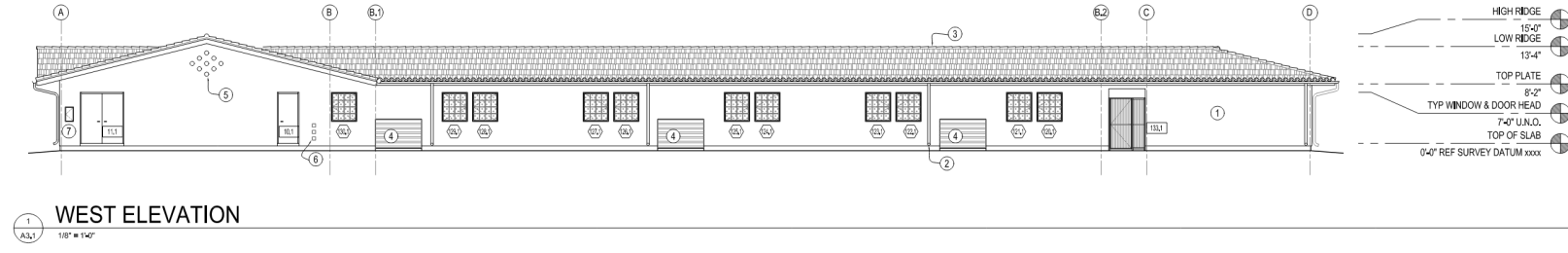
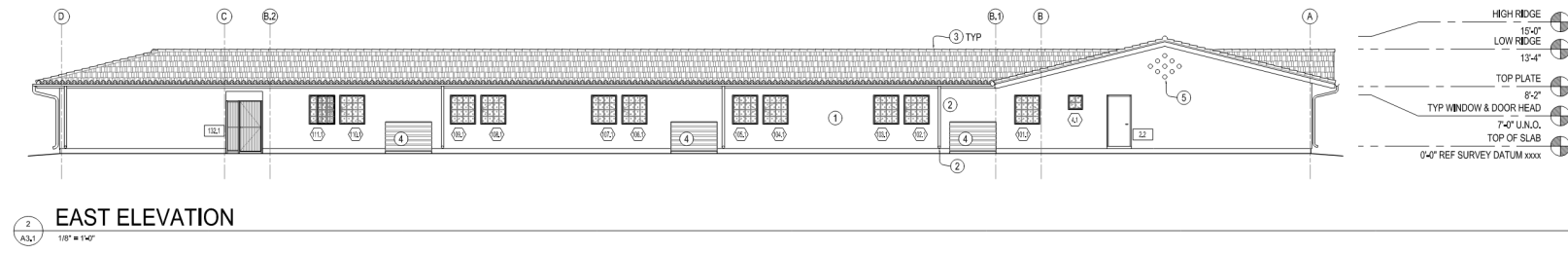
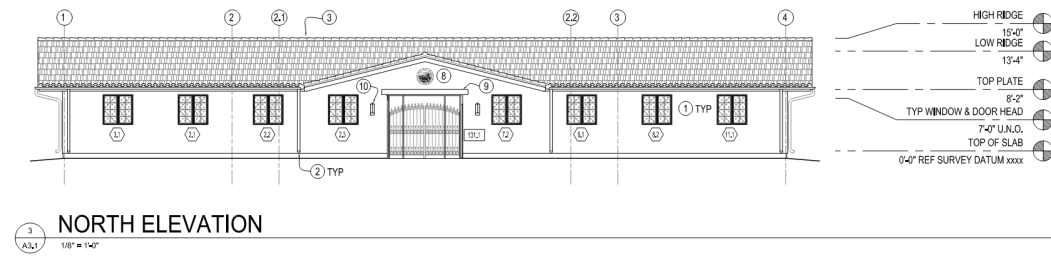
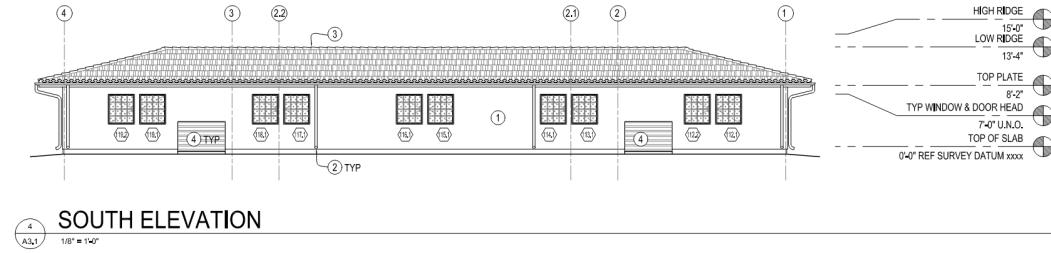
Drawn By: DJ  
Checked By: 2407  
Job No.:  
Revised:  
No. Date By

NOT FOR CONSTRUCTION  
17 OCT 2025

90% PERMIT SET

Exterior  
Elevations  
A3.1

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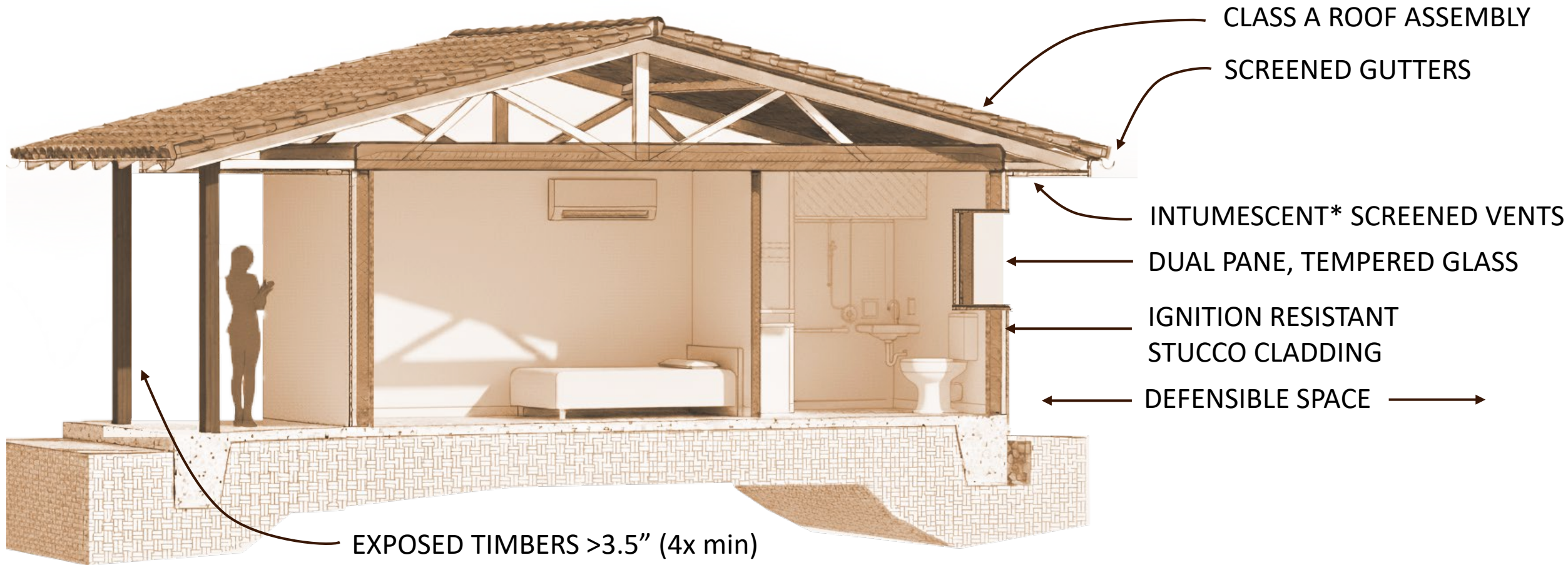


- ELEVATION KEY NOTES**
- 1 STUCCO, SEE A3.0
  - 2 GUTTER AND DOWNSPOUT
  - 3 ROOFING, SEE A3.0
  - 4 NON-COMBUSTIBLE HVAC SCREEN, SEE XXA8,XX
  - 5 INTUMESCENT GABLE VENT BEHIND 6" TERRACOTTA VENTS AT STUCCO, SEE XXA8,XX
  - 6 DRYER VENT, FOLD
  - 7 ELECTRIC METER, SEE ELECTRICAL DRAWINGS
  - 8 ENTRY SIGN, FOLD
  - 9 TIMBER HEADER, SEE XXA8,XX
  - 10 WALL SCONCE, SEE A16.1
- ELEVATION GENERAL NOTES:**
- 1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
  - 2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
  - 3. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.



## WILDFIRE RESISTANCE

The project is in CalFire's Very High Fire Severity Zone; the building must comply with Wildland-Urban-Interface code.



TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE

\*INTUMESCENT VENTS ARE HEAT-ACTIVATED, UPON CONTACT WITH EMBERS SCREENS FOAM AND SEAL VENT OPENINGS.



# CLIMATE IMPACTS OF A BUILDING's LIFE CYCLE

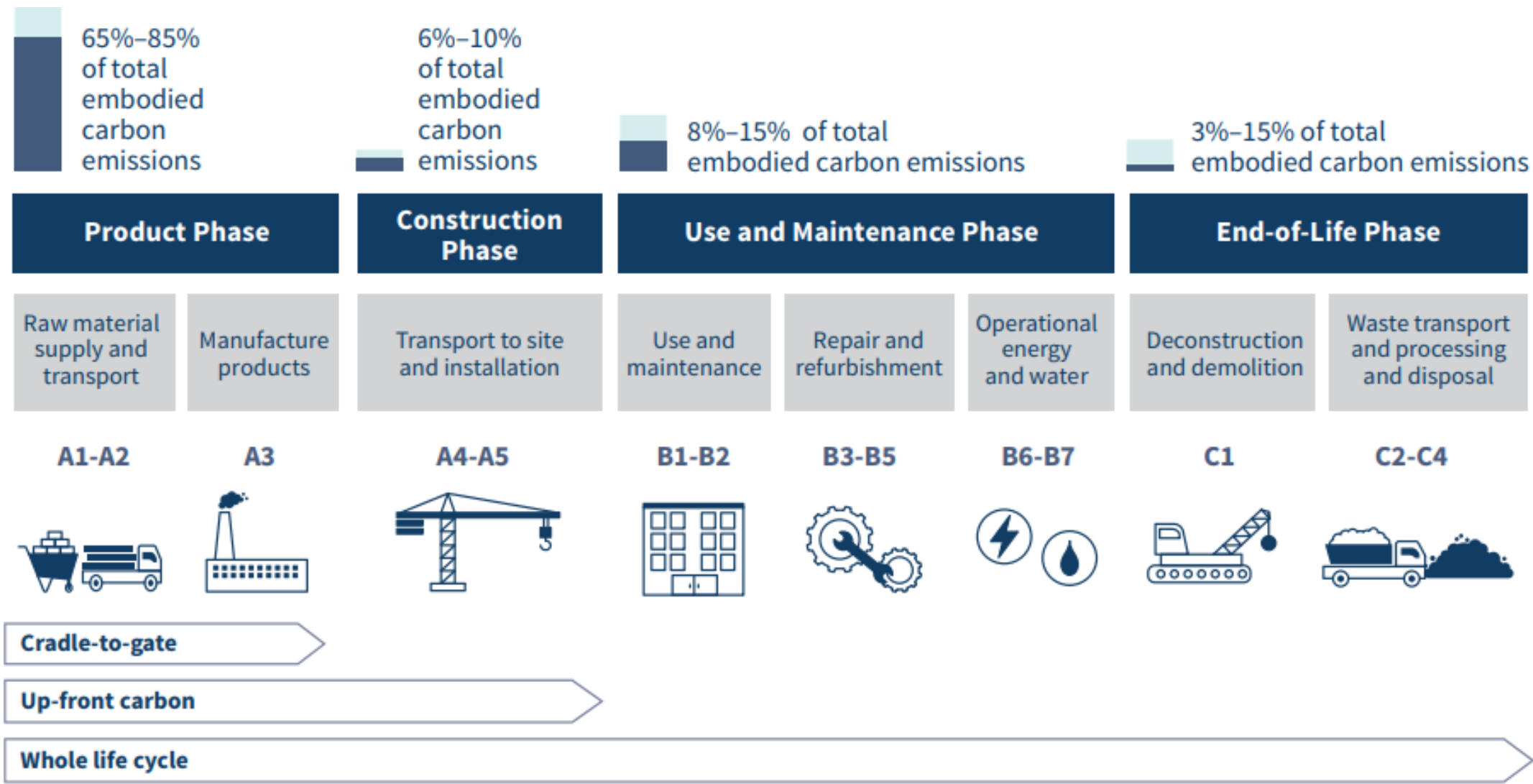


## What Is Embodied Carbon?

Embodied carbon is the sum of all greenhouse gas emissions released during the lifecycle of materials, including extraction, manufacturing, transport, construction, and disposal. Embodied carbon emissions from buildings account for 11 percent of annual climate-warming GHG emissions globally.



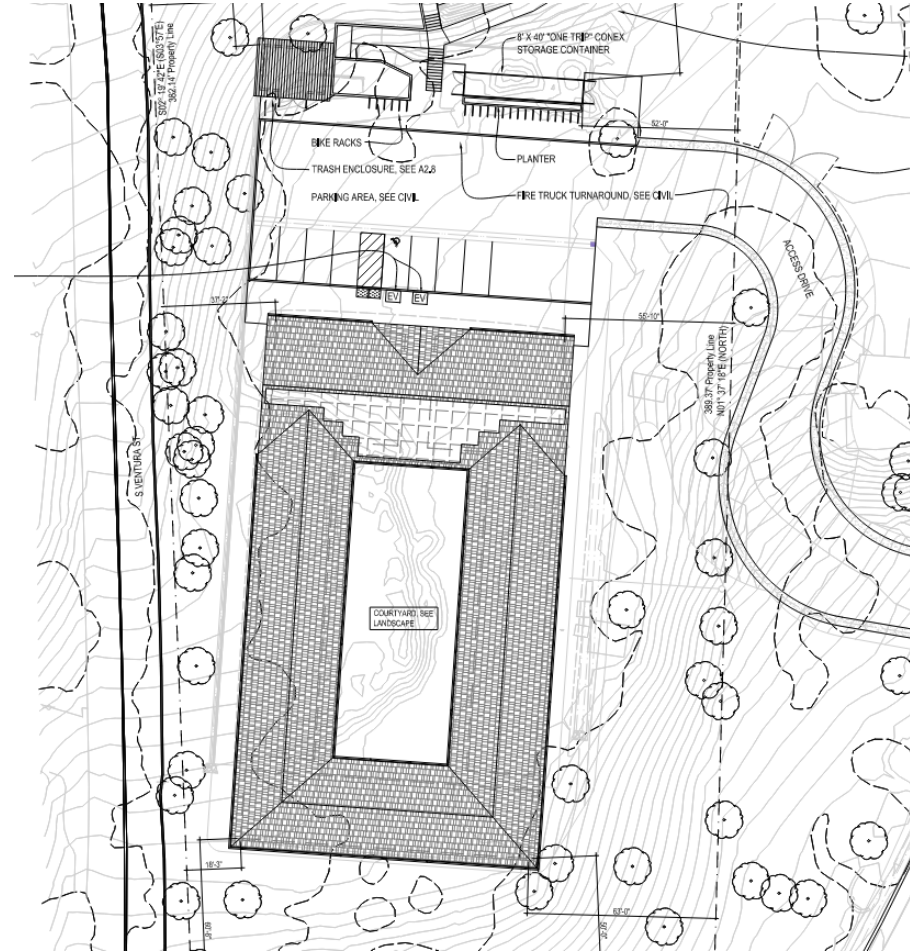
# CLIMATE IMPACTS OF A BUILDING's LIFE CYCLE





## OPERATIONAL CARBON HIGHLIGHTS

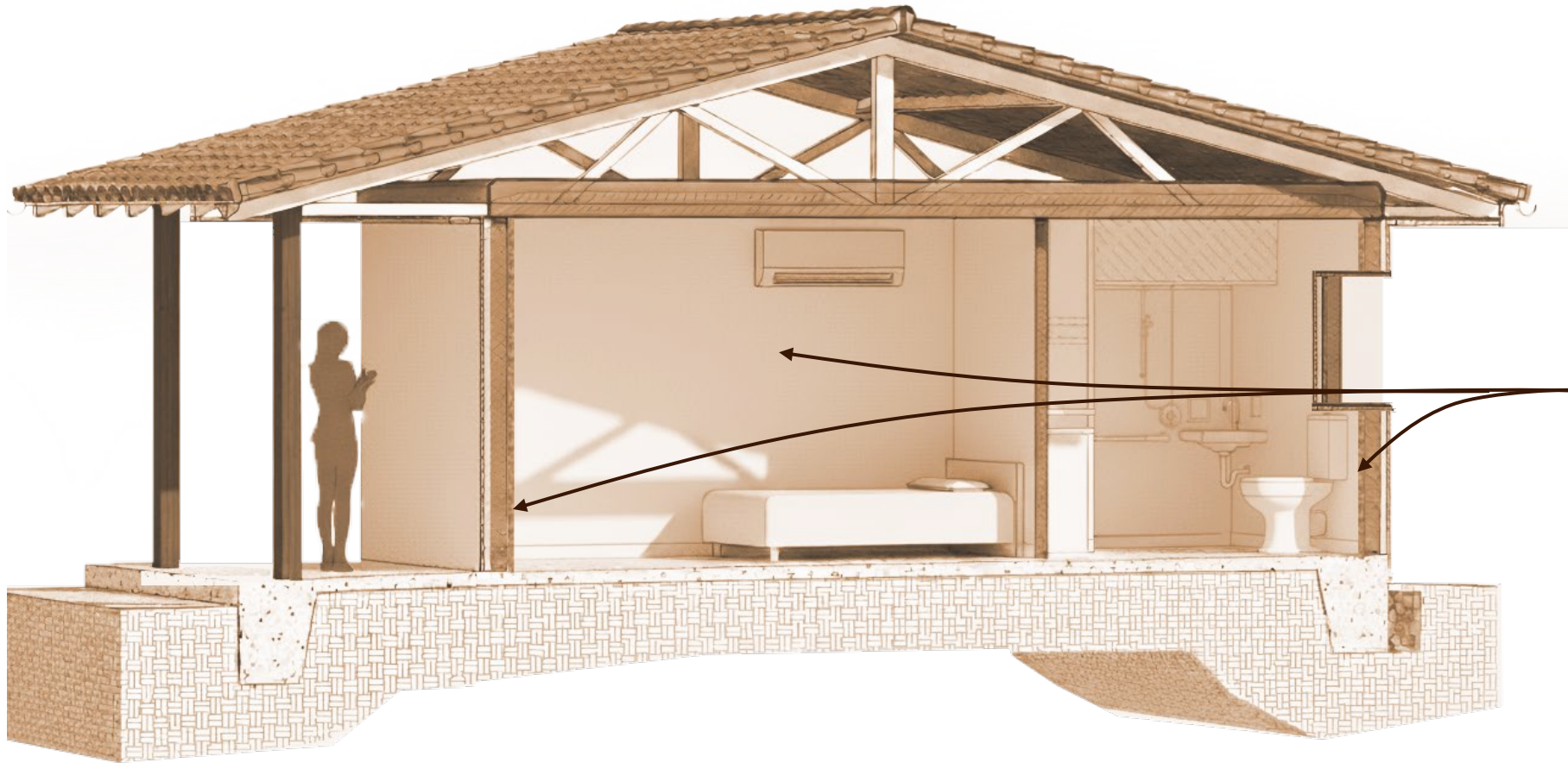
- 100% electric, no gas meter installed.
- High efficiency heat pump HVAC
- High efficiency heat pump hot water
- PV Solar at South Facing Roof
- LED Lighting
- Occupancy Sensors
- Large Overhangs and Well Insulated Envelope; Minimal Solar Heat Gain
- Natural Ventilation
- EV Charging



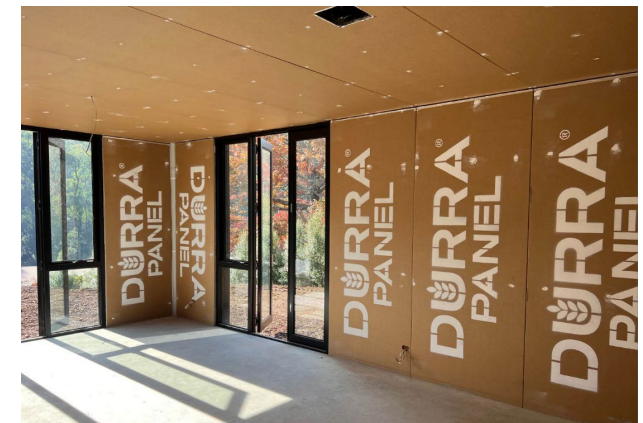


## COMPRESSED STRAW PANELS (CSP)

- 50mm CSP wall paneling
- CSP Ceilings optional bid alternate



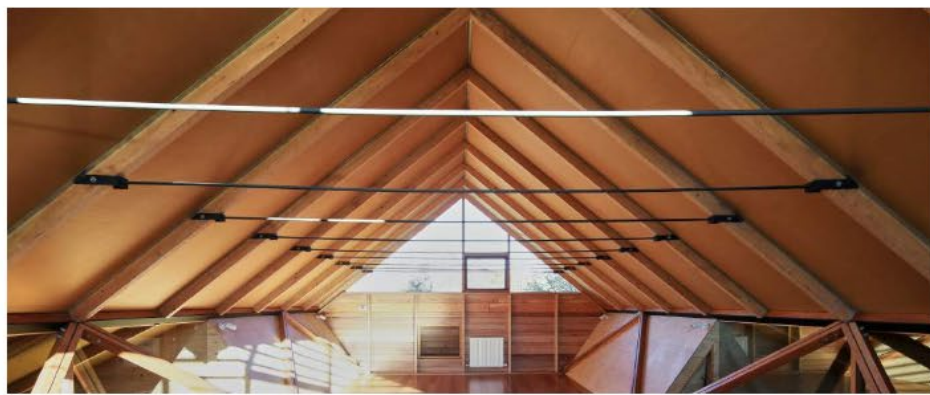
TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE



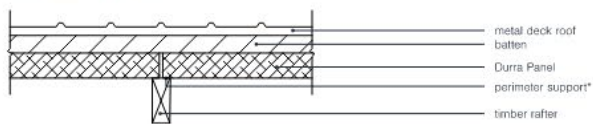


# COMPRESSED STRAW PANELS

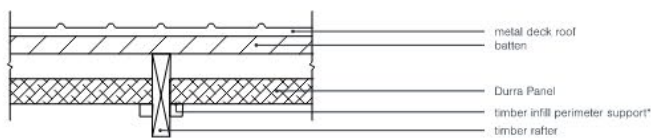
## Wall and ceiling assemblies



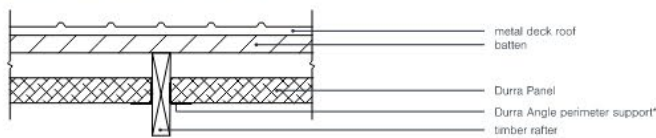
Top Side Rafter



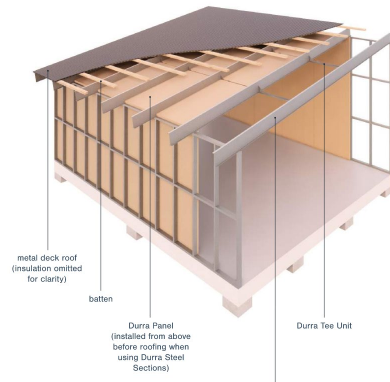
Infill Rafter with Timber



Infill Rafter with Angle



\*Durra Panel requires a minimum of 25mm perimeter support.



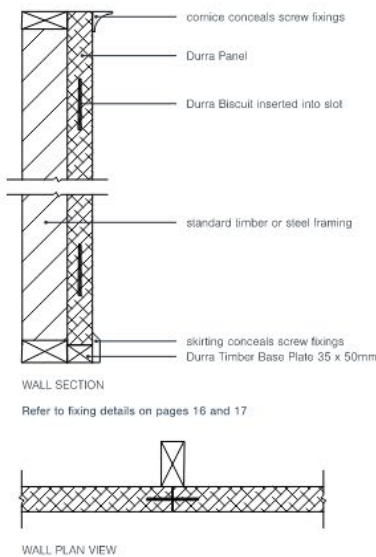
### Installation



With Durra Biscuit Connectors in place, lift the Durra Panel onto the Durra Base Plate.

Push Durra Panel to slot the Durra Biscuit Connectors and close the gap between the two panels.

Screw fix Durra Panel back to frame at top and bottom.





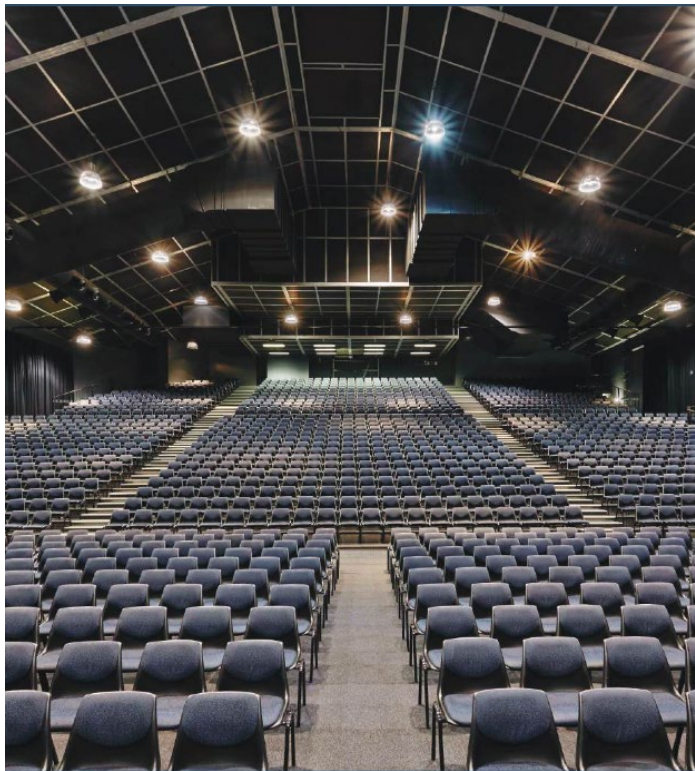
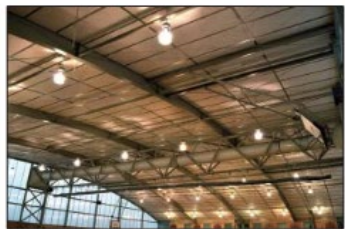
# COMPRESSED STRAW PANELS

## Sample projects, civic, commercial & residential

### School Buildings Performing Arts Centres Sports Stadiums

Durra Panel roof, ceiling and wall systems are ideal for use in; school buildings, performing art centres, trade training facilities, and sports halls. Durra Panel combines the desirable properties of strength, thermal and sound insulation together with a high degree of fire resistance. There are a large range of factory applied finishes available to suit individual project needs.

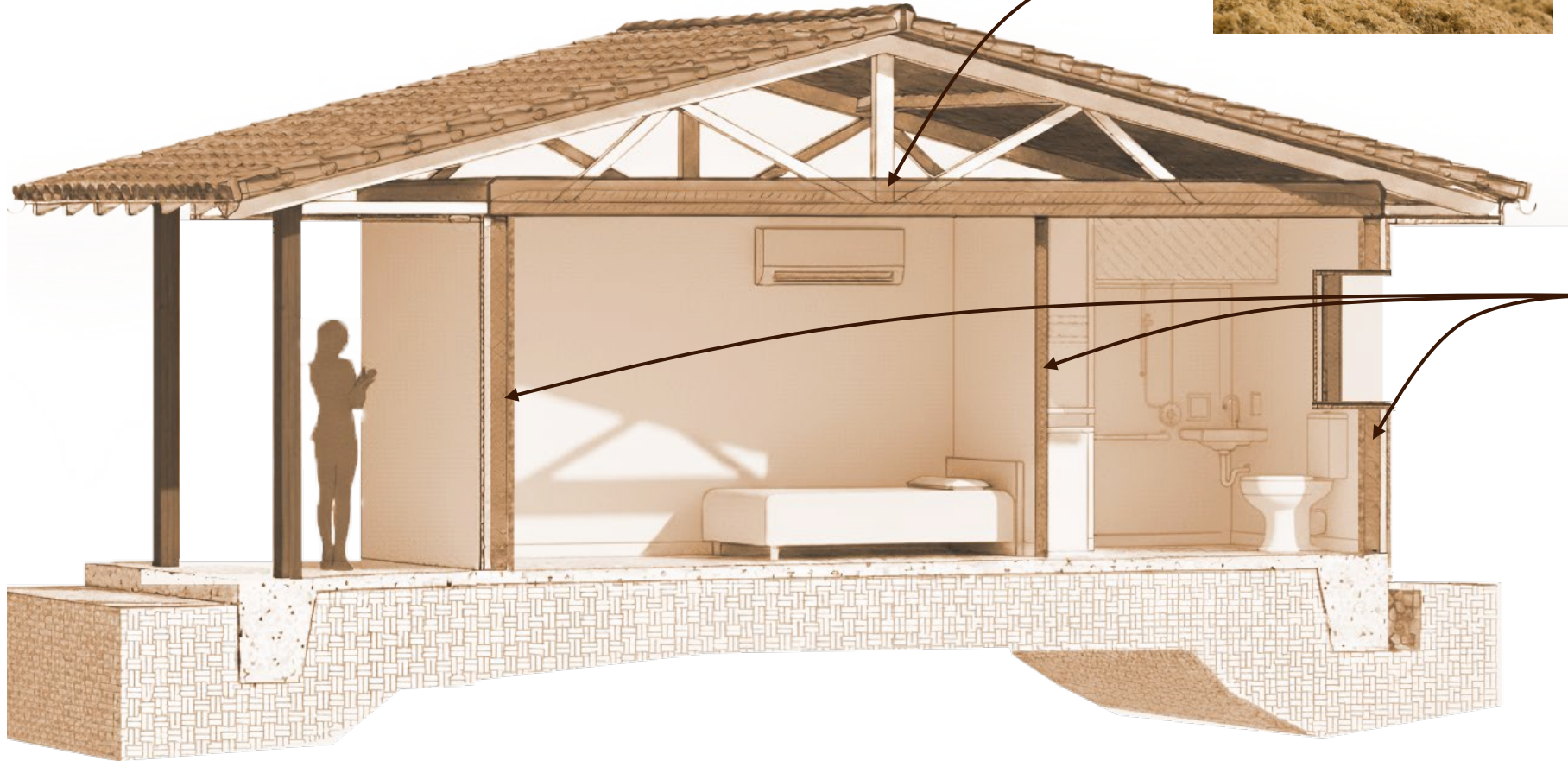
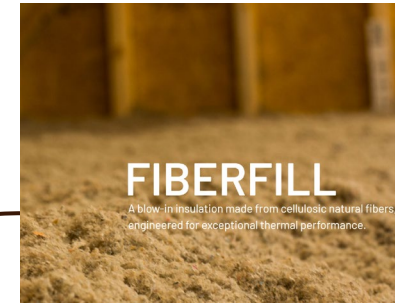
Durra Panel building systems are safe, fast and economical to install with significant design flexibility in a wide range of applications as illustrated on this reference page.





## HEMP THERMAL & ACOUSTIC INSULATION

- HempWool (or equal) at walls
- FiberFill (or equal) at roof



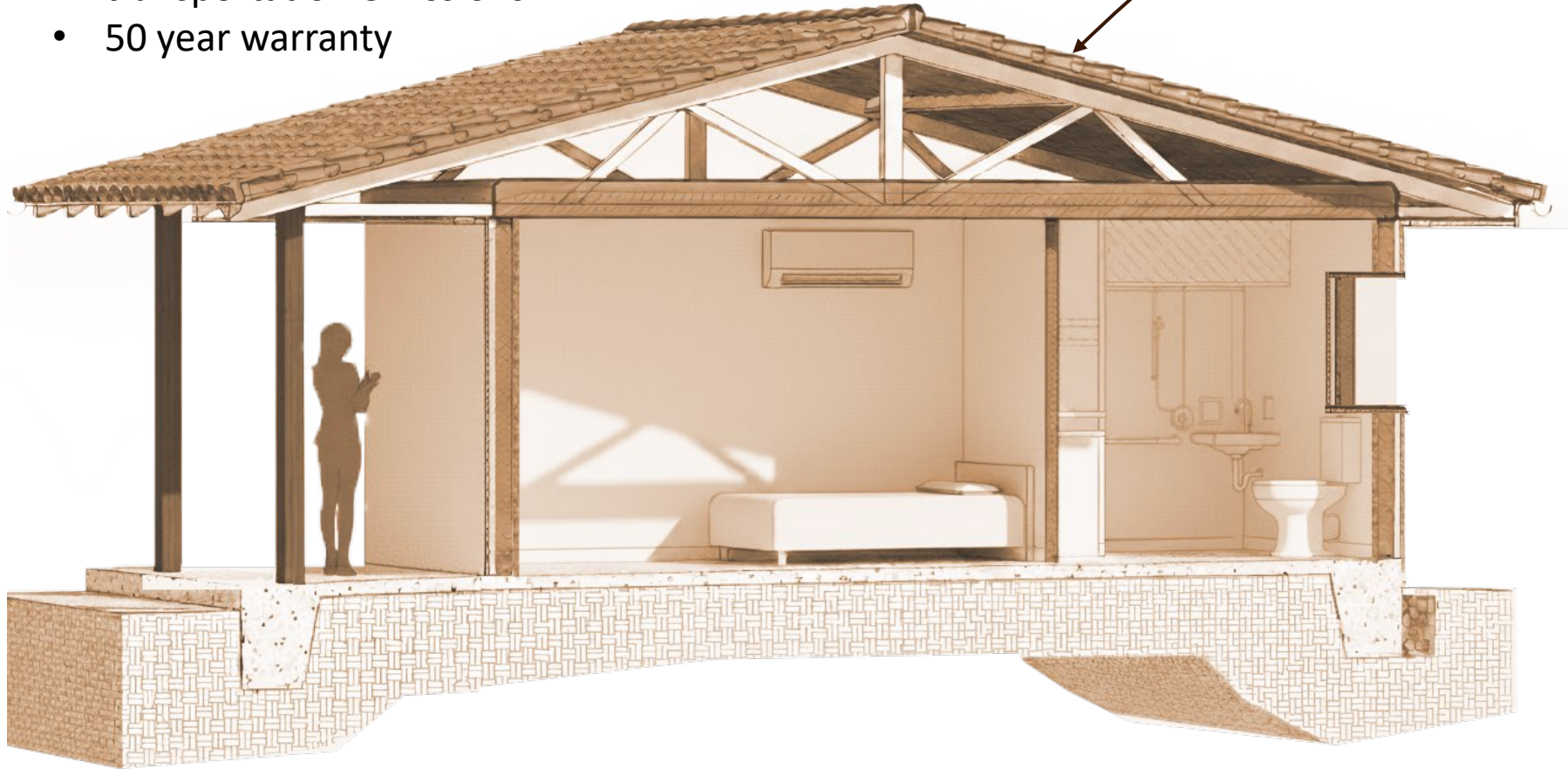
TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE





## RECYCLED (& RECYCLABLE) COMPOSITE ROOFING

- Brava (or equal) Spanish barrel tile, Aged Mission color proposed
- Class A Fire Rating, made from recycled materials
- Lightweight, reducing structural demands &
- transportation emissions.
- 50 year warranty

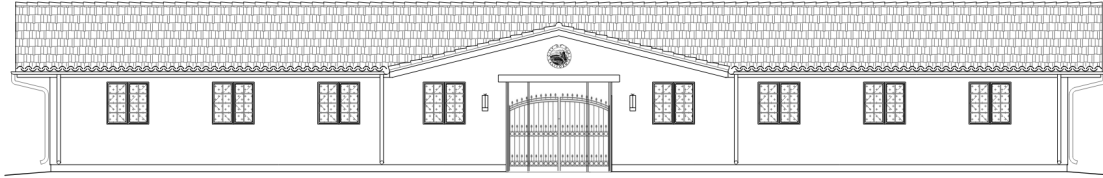


TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE



# OJAI PERMANENT SUPPORTIVE HOUSING

30 SEPT 2025 DRAWINGS INCLUDED IN THIS PRESENTATION ARE WORKS-IN- PROGRESS AND INTENDED FOR DISCUSSION PURPOSES ONLY NOT FOR BIDDING, PERMITTING OR CONSTRUCTION.



NORTH ELEVATION

25.09.30. SHEET INDEX REFLECTS DESIGN DEVELOPMENT SET FOR RFP PART 1. PARTIAL PROGRESS SET PRINTED ENCLOSED.

<p><b>GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION</b></p> <ol style="list-style-type: none"><li>1. FOR STORM WATER AND DRAINAGE CONSERVATION MEASURES AND PLANS, SEE CIVIL DRAWINGS AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>2. FOR ENERGY EFFICIENCY STANDARDS, SEE ENERGY CALCULATIONS AND MANDATORY MEASURES ON 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>3. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR PLUMBING FIXTURES, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>4. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR IRRIGATION SYSTEMS, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>5. FOR MATERIAL CONSERVATION, REUSE RECYCLE AND RESOURCE EFFICIENCY, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>6. PROVIDE OPERATION AND MAINTENANCE MANUALS TO OWNER, AS PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.</li><li>7. FOR STANDARDS FOR AIR QUALITY, POLLUTION REDUCTION AND CONTAMINANT REDUCTION, SEE ENVIRONMENTAL QUALITY SECTION IN 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4 AND A0.5.</li><li>8. FOR INTERIOR MOISTURE CONTROL AND INDOOR AIR QUALITY, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.5.</li><li>9. FOR INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.5.</li><li>10. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA STREET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.</li><li>11. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.</li><li>12. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO DRAINAGE SYSTEM.</li><li>13. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVIDERS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE.</li><li>14. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.</li></ol>	<p><b>GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION (CONT.)</b></p> <ol style="list-style-type: none"><li>15. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE E PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.</li><li>16. ANY SLOPES WITH DISTURBED SOILS OR DEPLETED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.</li></ol> <p><b>BUILDING CODES</b></p> <p>THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:</p> <p>2022 CBC EDITION CALIF. BUILDING CODE 2022 CEC EDITION CALIF. ELECTRICAL CODE 2022 CEC EDITION CALIF. BUILDING ENERGY CODE 2022 CPC EDITION CALIF. FIRE CODE 2022 CGB EDITION CALIF. GREEN BUILDING CODE 2022 CMC EDITION CALIF. MECHANICAL CODE 2022 CPC EDITION CALIF. PLUMBING CODE</p> <p>WUI STANDARDS - CBC CH 7A, CFC CH 47</p> <p>24 CFR § 882.605 - SRC: HOUSING QUALITY STANDARDS</p>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"><li>1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION, FOLLOWING CONTRACTOR SELECTION PROCESS. DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.</li><li>2. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.</li></ol> <p><b>SPECIAL INSPECTIONS</b></p> <p>REFER TO STRUCTURAL GENERAL NOTES FOR LIST OF SPECIAL INSPECTIONS REQUIRED.</p> <p><b>FIRE SPRINKLERS AND ALARMS</b></p> <p>BUILDING TO BE FULLY SPRINKLERED AND ALARMED. FIRE SPRINKLERS AND ALARM SYSTEM TO BE PROVIDED AS DESIGN BUILD UNDER DEFERRED SUBMITTAL.</p>	<p><b>LOCATION MAP</b></p> <p><b>VICINITY MAP</b></p> <p><b>AREA TABULATIONS</b></p> <table><tr><td>PSH Building</td><td></td></tr><tr><td>Gross Areas</td><td></td></tr><tr><td>East Wing</td><td>4,040</td></tr><tr><td>West Wing</td><td>4,040</td></tr><tr><td>South Wing</td><td>2,206</td></tr><tr><td>Gross Building Area</td><td>10,286</td></tr><tr><td>Courtyard</td><td>5,667</td></tr><tr><td>Outdoor Corridors</td><td>603</td></tr><tr><td>Outdoor Spaces</td><td>6,270</td></tr><tr><td>Total Footprint</td><td>16,556</td></tr><tr><td>Roof Area</td><td>14,702</td></tr><tr><td>Storage Container</td><td></td></tr><tr><td>Net Interior Area</td><td>300</td></tr><tr><td>Gross Footprint</td><td>320</td></tr><tr><td>Roof Area</td><td>320</td></tr></table>	PSH Building		Gross Areas		East Wing	4,040	West Wing	4,040	South Wing	2,206	Gross Building Area	10,286	Courtyard	5,667	Outdoor Corridors	603	Outdoor Spaces	6,270	Total Footprint	16,556	Roof Area	14,702	Storage Container		Net Interior Area	300	Gross Footprint	320	Roof Area	320	<p><b>PROJECT DATA</b></p> <p>PROJECT: OJAI PERMANENT SUPPORTIVE HOUSING 611 SOUTH MONTGOMERY STREET, OJAI, CA., 93023</p> <p>APN: 023-0-120-020</p> <p>LOT SIZE: 1.74 ACRES = 75,794 SF</p> <p>CONSTRUCTION TYPE: I-4B</p> <p>ZONING AND LAND USE: REFER TO CITY COUNCIL RESOLUTION 25-19</p> <p>OCCUPANCY: B, A, R-2</p> <p>S.O.A.R.: NO</p> <p>COASTAL ZONE: NO</p> <p>FLOOD ZONE: NO</p> <p>HIGH FIRE ZONE: YES - VERY HIGH FIRE HAZARD SEVERITY ZONE</p> <p>PARKING: REQUIRED COVERED PARKING = 0 REQUIRED UNCOVERED PARKING = 0 PARKING PROVIDED = 8 PROJECT AUTHORIZED UNDER CITY COUNCIL RESOLUTION 25-19</p> <p><b>CONTACT LIST</b></p> <p>OWNER APPLICANT: CITY OF OJAI</p> <p>BEN HARVEY STUDIO LARBER BEN.HARVEY@OJAI.CA.GOV</p> <p>LUCAS SEBERT COMMUNITY DEVELOPMENT DIRECTOR LUCAS.SEBERT@OJAI.CA.GOV 805.646.5981</p> <p>DEVELOPER: DIGNITY MOVES MAUREEN BOYER VP OF INNOVATION DESIGN MAUREEN@DIGNITYMOVES.ORG 415.246.3570</p> <p>ARCHITECT: DJA ARCHITECTS, PLLC DYLAN JOHNSON, AIA DYLAN@DJAARCHITECTS.COM 206.458.7027</p> <p>CIVIL: SANRELL SUSANNE COOPER, PE CAULIN BUCH CBUCH@JDS CIVIL.COM 805.633.2225</p> <p>LANDSCAPE: STUDIO LANDSCAPE CORP. KATHY NOLAN, ASLA 805.646.8384 KN@STUDIO-LANDSCAPE.COM</p> <p>STRUCTURAL: SWENSON SKY FAGET ZANE KANYER 206.356.3738 ZKANYER@SSENGINEERS.COM</p> <p>MECHANICAL: MECHANICAL ENGINEERING CONSULTANTS TOM HUGHES TOM@MECENG.COM</p> <p>PLUMBING: MECHANICAL ENGINEERING CONSULTANTS SCOTT BAER SCOTT@MECENG.COM</p> <p>ELECTRICAL: JMPE JOHN MALONEY MALONEY@JMPE.NET</p> <p><b>PROJECT DESCRIPTION</b></p> <p>THE CITY OF OJAI WILL CONSTRUCT, ON CITY OWNED PROPERTY AT 611 SOUTH MONTGOMERY STREET, A PERMANENT SUPPORTIVE HOUSING PROJECT FOR FORMERLY UNHOUSED INDIVIDUALS CONTAINING THIRTY (30) SINGLE-STORY RESIDENTIAL UNITS EACH WITH ENSUITE BATHROOMS, A COMMON AREA, LAUNDRY AND BATHING FACILITIES, AND OFFICES FOR SITE MANAGERS, ON-SITE CASE MANAGERS AND SITE SECURITY, AN ACCESSORY STORAGE CONTAINER, TRASH ENCLOSURE AND ASSOCIATED SITE, CIVIL AND LANDSCAPE DEVELOPMENTS (TOGETHER WITH ALL RELATED FACILITIES, THE "PROJECT"). NO COOKING OR FOOD PREPARATION TO OCCUR AT PROJECT. ALL MEALS TO BE PREPARED OFF-SITE AND DELIVERED.</p>	<p><b>SHEET INDEX</b></p> <p>T1 TITLE SHEET</p> <p><b>CIVIL:</b></p> <ol style="list-style-type: none"><li>1. GRADING PLAN COVER SHEET</li><li>2. GRADING</li><li>3. GRADING</li><li>4. GRADING</li><li>5. GRADING</li><li>6. COMPOSITE UTILITY PLAN</li><li>7. HORIZONTAL CONTROL PLAN</li><li>8. EROSION CONTROL PLAN COVER SHEET</li><li>9. EROSION CONTROL PLAN</li></ol> <p><b>LANDSCAPE:</b></p> <p>L-0 TITLE SHEET</p> <p>L-1 EXISTING CONDITIONS PLAN</p> <p>L-2 LANDSCAPE SITE PLAN</p> <p>L-3 LANDSCAPE SITE PLAN</p> <p>L-4 PLANTING DETAILS</p> <p>L-5 IRRIGATION CONCEPT PLAN</p> <p>L-6 IRRIGATION DETAILS</p> <p>L-7 IRRIGATION DETAILS</p> <p>L-8 LANDSCAPE MATERIALS &amp; IMAGERY</p> <p>L-9 LANDSCAPE LIGHTING PLAN</p> <p>L-10 LANDSCAPE LIGHTING PLAN</p> <p>L-11 LIGHTING SPEC. SHEETS</p> <p>L-12 TREE PROTECTION PLAN</p> <p>L-13 TREE PROTECTION PLAN</p> <p><b>ARCHITECTURAL:</b></p> <p>A0.1 ASSEMBLY NOTES LEGENDS</p> <p>A0.2 LIFE SAFETY PLAN</p> <p>A0.3 GENERAL CODE NOTES</p> <p>A0.4 CAL GREEN CODE NOTES</p> <p>A0.5 CAL GREEN CODE NOTES</p> <p>A0.6 ACCESSIBILITY CODES AND DETAILS</p> <p>A0.7 ACCESSIBILITY CODES AND DETAILS</p> <p>A1.1 ARCHITECTURAL SITE PLAN</p> <p>A2.1 FLOOR PLAN</p> <p>A2.2 FURNITURE PLAN</p> <p>A2.3 ROOF PLAN</p> <p>A2.4 ENLARGED SINGLE UNIT PLAN &amp; INT ELEV</p> <p>A2.5 ENLARGED DOUBLE UNIT PLAN &amp; INT ELEV</p> <p>A2.6 ENLARGED RESTROOM PLANS &amp; INT ELEV</p> <p>A2.7 NOT USED</p> <p>A2.8 TRASH ENCLOSURE</p> <p>A2.9 DOOR SCHEDULE &amp; TYPES</p> <p>A2.10 WINDOW SCHEDULE &amp; TYPES</p> <p>A2.11 SCHEDULES</p> <p>A3.0 ASSEMBLY KEYNOTE LEGEND</p> <p>A3.1 EXTERIOR ELEVATIONS</p> <p>A3.2 EXTERIOR ELEVATIONS</p> <p>A3.3 BUILDING SECTIONS</p> <p>A3.4 WALL SECTIONS</p> <p>A3.5 WALL SECTIONS</p> <p>A4.1 NOT USED</p> <p>A4.2 INTERIOR ELEVATIONS</p> <p>A4.3 REFLECTED CEILING PLAN</p> <p>A4.4 REFLECTED CEILING PLANS UNITS</p> <p>A4.5 NOT USED</p> <p>A4.6 EXTERIOR DETAILS</p> <p>A4.7 EXTERIOR DETAILS</p> <p>A4.8 EXTERIOR DETAILS</p> <p>A4.9 INTERIOR DETAILS</p>	<p><b>SHEET INDEX (CONT.)</b></p> <p><b>STRUCTURAL:</b></p> <p>S1.1 GENERAL STRUCTURAL NOTES</p> <p>S1.2 GENERAL STRUCTURAL NOTES</p> <p>S2.1 FOUNDATION PLAN</p> <p>S2.1.8 FOUNDATION PLAN - STRONGWALL</p> <p>S2.2 ROOF FRAMING PLAN</p> <p>S2.2.8 ROOF FRAMING PLAN - STRONGWALL</p> <p>S3.1 FOUNDATION DETAILS</p> <p>S3.2 FOUNDATION DETAILS</p> <p>S4.1 WOOD FRAMING DETAILS</p> <p>S4.2 WOOD FRAMING DETAILS</p> <p><b>MECHANICAL:</b></p> <p>M1.1 ABBREVIATIONS, SYMBOLS &amp; GEN. NOTES</p> <p>M1.2 EQUIP. SCHEDULES &amp; COMPLIANCE NOTES</p> <p>M1.3 EQUIPMENT SCHEDULES &amp; DETAILS</p> <p>M2.1 OVERALL MECHANICAL FLOOR PLAN</p> <p>M2.2 ENLARGED MECHANICAL FLOOR PLAN</p> <p>M2.3 ENLARGED MECHANICAL FLOOR PLAN</p> <p>M2.4 ENLARGED MECHANICAL FLOOR PLANS</p> <p><b>PLUMBING:</b></p> <p>P1.1 ABBREVIATIONS, SYMBOLS, &amp; SCHEDULES</p> <p>P1.2 SPECIFICATIONS &amp; DETAILS</p> <p>P2.1 OVERALL PLUMBING FLOOR PLAN</p> <p>P2.2 ENLARGED PLUMBING FLOOR PLAN</p> <p>P2.3 ENLARGED PLUMBING FLOOR PLAN</p> <p>P2.4 ENLARGED PLUMBING FLOOR PLANS</p> <p>P2.5 ENLARGED PLUMBING FLOOR PLANS</p> <p><b>ELECTRICAL:</b></p> <p>E-1 SYMBOLS, NOTES, &amp; SINGLE LINE DIAGRAM</p> <p>E-2 ELECTRICAL SITE PLAN</p> <p>E-3 ELECTRICAL FLOOR PLAN</p> <p>E-4 ELECTRICAL FLOOR PLANS</p>
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Storage Container																																				
Net Interior Area	300																																			
Gross Footprint	320																																			
Roof Area	320																																			

Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

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Title  
Sheet

T1

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1  
A1.1

ARCHITECTURAL SITE PLAN

1" = 20'

1

FLOOR PLAN KEY NOTES

- 1 ACCESS DRIVE
- 2 PARKING AREA, SEE CIVIL DRAWINGS
- 3 FIRE TRUCK TURNAROUND, SEE CIVIL DRAWINGS
- 4 COURTYARD, SEE LANDSCAPE DRAWINGS
- 5 REMOVE AND REINSTALL EXISTING PUBLIC WORKS YARD FENCE AND GATES, SEE LANDSCAPE DRAWINGS AND COORDINATE ALL PUBLIC WORKS FENCE WORK WITH PUBLIC WORKS DIRECTOR, VERIFY EXTENTS OF REQUIRED FENCE MODIFICATIONS ON-SITE
- 6 PROVIDE (2) LEVEL-2 EV CHARGERS, SEE ELECTRICAL DRAWINGS, (1) EV CHARGER TO BE ACCESSIBLE, GC TO PROVIDE ELECTRICAL ROUGH-IN, CHARGER TO BE FORD
- 7 BIKE RACKS
- 8 8' X 40' "ONE TRIP" CONEX STORAGE CONTAINER, PROVIDE FOOTINGS AND ANCHORAGE AS REQUIRED BY CONTAINER MANUFACTURER
- 9 TRASH ENCLOSURE, SEE A2.8
- 10 UNFENCED PET RELIEF AREA, SEE LANDSCAPE DRAWINGS
- 11 ADA RAMP - SEE CIVIL AND STRUCTURAL DRAWINGS
- 12 PROVIDE HANDRAILS AND/OR GUARDRAILS AT BOTH SIDES OF RAMP AND STAIR, SEE LANDSCAPE DRAWINGS

SITE PLAN GENERAL NOTES:

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY, SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE WORK REQUIREMENTS.
2. SEE CIVIL FOR SITE DEMOLITION SCOPE.



DJA Architects, PLLC  
Dylan Johnson  
Santa Barbara, CA 93103  
206.459.7027 djohn@djarchitects.com

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Site  
Plan

A1.1

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PLUMBING CALCS - 2022 CALIFORNIA PLUMBING CODE:

ROOM NAME	FUNCTION	QNTY	AREA (NET)	AREA TOTAL	OCCUPANT LOAD FACTOR	OCCUPANTS
GATHERING SPACE	ASSEMBLY	1	1224	1224	30	41
PANTRY	BUSINESS	1	178	178	150	1
SECURITY OFFICE	BUSINESS	1	115	115	150	1
CHECK IN OFFICE	BUSINESS	1	213	213	150	1
SUPPORT OFFICE	BUSINESS	1	206	206	150	1
HALL	BUSINESS	1	256	256	150	2
LAUNDRY	BUSINESS	1	212	212	150	1
MECHANICAL	BUSINESS	1	348	348	8000	0
COMMON RESTROOM	BUSINESS	2	52	104	150	1
COURTYARD - ENTRY HALL	PREFUNCTION AREA	1	6231	6231	0	0

TOTAL 49 (25 MALE, 25 FEMALE)  
UNISEX RR ALLOWED  
CPC 422.2 Exception 3 allows for (1) unisex restroom, two are proposed  
(1) Drinking fountain required

OCCUPANCY CALCULATIONS:

ROOM NAME	FUNCTION	QNTY	AREA (NET)	AREA TOTAL	OCCUPANT LOAD FACTOR	OCCUPANTS
GATHERING SPACE	ASSEMBLY	1	1224	1224	15	82
PANTRY	BUSINESS	1	178	178	150	1
SECURITY OFFICE	BUSINESS	1	115	115	150	1
CHECK IN OFFICE	BUSINESS	1	213	213	150	1
SUPPORT OFFICE	BUSINESS	1	206	206	150	1
HALL	BUSINESS	1	256	256	150	2
LAUNDRY	BUSINESS	1	212	212	150	1
MECHANICAL	STORAGE/MECH	1	348	348	300	1
COMMON RESTROOM	BUSINESS	2	52	104	150	1
SINGLE UNITS	R-2 RESIDENTIAL	28	190	5320	1 PER UNIT	28
DOUBLE UNITS	R-2 RESIDENTIAL	2	380	760	2 PER UNIT	4
COURTYARD - ENTRY HALL	PREFUNCTION AREA	1	6231	6231	0	0
TOTAL						123
STORAGE BUILDING	STORAGE/MECH	1	320	320	300	1

CODE SUMMARY:

APPLICABLE BUILDING CODE  
2022 CALIFORNIA BUILDING CODE (CBC),  
2022 CALIFORNIA GREEN BUILDING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
24 CFR § 982.605 - SRC: HOUSING QUALITY STANDARDS

CHAPTER 3 OCCUPANCY AND USE  
THE RESIDENTIAL PORTION OF THE PROJECT FALLS UNDER GROUP R-2 (RESIDENTIAL) OCCUPANCY. RESIDENTS STAY MAY EXCEED 30 DAYS. ADMINISTRATIVE AND SUPPORTIVE SERVICES: GROUP B (BUSINESS) GATHERING SPACE: GROUP A-2 (ASSEMBLY)  
EXTERIOR COURTYARD - OCCUPANCY, PREFUNCTION AREA WITH NO OCCUPANT LOAD

A LETTER FROM THE CITY OF OJAI WILL CONFIRM THAT FOOD WILL NOT BE PREPARED ON-SITE, AND THREE MEALS PER DAY WILL BE PREPARED OFF SITE AND DELIVERED TO THE GATHERING SPACE FOR THE RESIDENTS.  
24 CFR § 982.605 - SRC: HOUSING QUALITY STANDARDS.  
USE: SINGLE ROOM OCCUPANCY (SRO) HUD MIN SIZE 110 SF WITH 4 SF OF CLOSET SPACE.

CHAPTER 4 SPECIAL REQUIREMENTS  
SECTION 402 REQUIRES 1-HOUR SEPARATION BETWEEN R2 UNITS.

CHAPTER 5 HEIGHTS AND AREAS  
CONSTRUCTION TYPE V-8  
MAXIMUM AREA: TABLE 506  
SPRINKLERED A-2 = 24,000 SF  
SPRINKLERED R-2 = 28,000 SF  
SPRINKLERED B = 36,000 SF  
TOTAL PROPOSED BUILDING AREA: 10,286 SF

CHAPTER 6 TYPES OF CONSTRUCTION  
FIRE SEPARATION: TABLE 601 AND 602 REQUIRE FIRE RATED EXTERIOR WALLS WITHIN 10' OF PROPERTY LINE. ALL BUILDING WALLS ARE GREATER THAN 10' FROM THE PROPERTY LINE AND THEREFORE NOT REQUIRED TO BE RATED.

CHAPTER 7A  
PROJECT TO COMPLY WITH VERY HIGH FIRE SEVERITY REQUIREMENTS.  
INTERLUDEScent ROOF VENTS  
NON-COMBUSTIBLE STUCCO CLADDING  
CLAY TILE ROOFING OVER CLASS A MEMBRANE ASSEMBLY

CHAPTER 10  
1017.2 ESTABLISHES EXIT DISTANCE FOR FULLY SPRINKLERED R2 BUILDINGS TO BE 250'.  
SEE DIAGRAM.

CHAPTER 11  
CBC 11A.1.1 ALL GROUND FLOOR UNITS WILL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE.  
CBC 11B-233.3 REQUIRES 5% OF UNITS TO BE ACCESSIBLE: = MINIMUM OF 2 ACCESSIBLE UNITS.  
AT LEAST ONE UNIT SHALL BE FULLY ACCESSIBLE WITH MOBILITY FEATURES.  
ALL UNITS PROPOSED TO BE ACCESSIBLE.

LEGEND

- CRASH BAR EGRESS HARDWARE
- 1-HOUR FIRE RATED PARTITION WALL
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- COMMUNICATION FEATURES IN UNIT
- ACCESSIBLE UNIT
- MAX. TRAVEL DISTANCE
- ACCESSIBLE PATH OF TRAVEL  
CROSS SLOPE NOT TO EXCEED 2%  
RUNNING SLOPE NOT TO EXCEED 5%
- ASSEMBLY
- BUSINESS
- STORAGE/MECHANICAL
- PREFUNCTION AREA
- R-2 RESIDENTIAL
- FEC FIRE EXTINGUISHER CABINET
- FE FIRE EXTINGUISHER ON BRACKET

LIFE SAFETY PLAN GENERAL NOTES:

- BUILDING TO BE FULLY SPRINKLERED DESIGN-BUILD AND PERMITTED UNDER DEFERRED SUBMITTAL.
- CONTRACTOR TO PROVIDE DESIGN-BUILD FIRE ALARM.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR EXTERIOR PAVING INFORMATION.
- PARTITION WALLS BETWEEN RESIDENTIAL UNITS TO BE 1-HOUR RATED PER ASTM E119.
- BUILDING IS GREATER THAN 10' FROM PROPERTY LINE AND FULLY SPRINKLERED. EXTERIOR WALLS NOT REQUIRED TO BE RATED.
- ALL UNITS TO BE PROVIDED WITH INTERCONNECTED SMOKE AND CARBON MONOXIDE ALARMS.
- UNITS WITH COMMUNICATION FEATURES TO INCLUDE VISUAL ALARMS FOR PERSONS WITH HEARING IMPAIRMENTS.

NO COOKING OR FOOD PREPARATION TO OCCUR AT PROJECT.  
ALL MEALS TO BE PREPARED OFF-SITE AND DELIVERED.



Ojai Permanent Supportive Housing

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Life Safety  
Plan

A0.2

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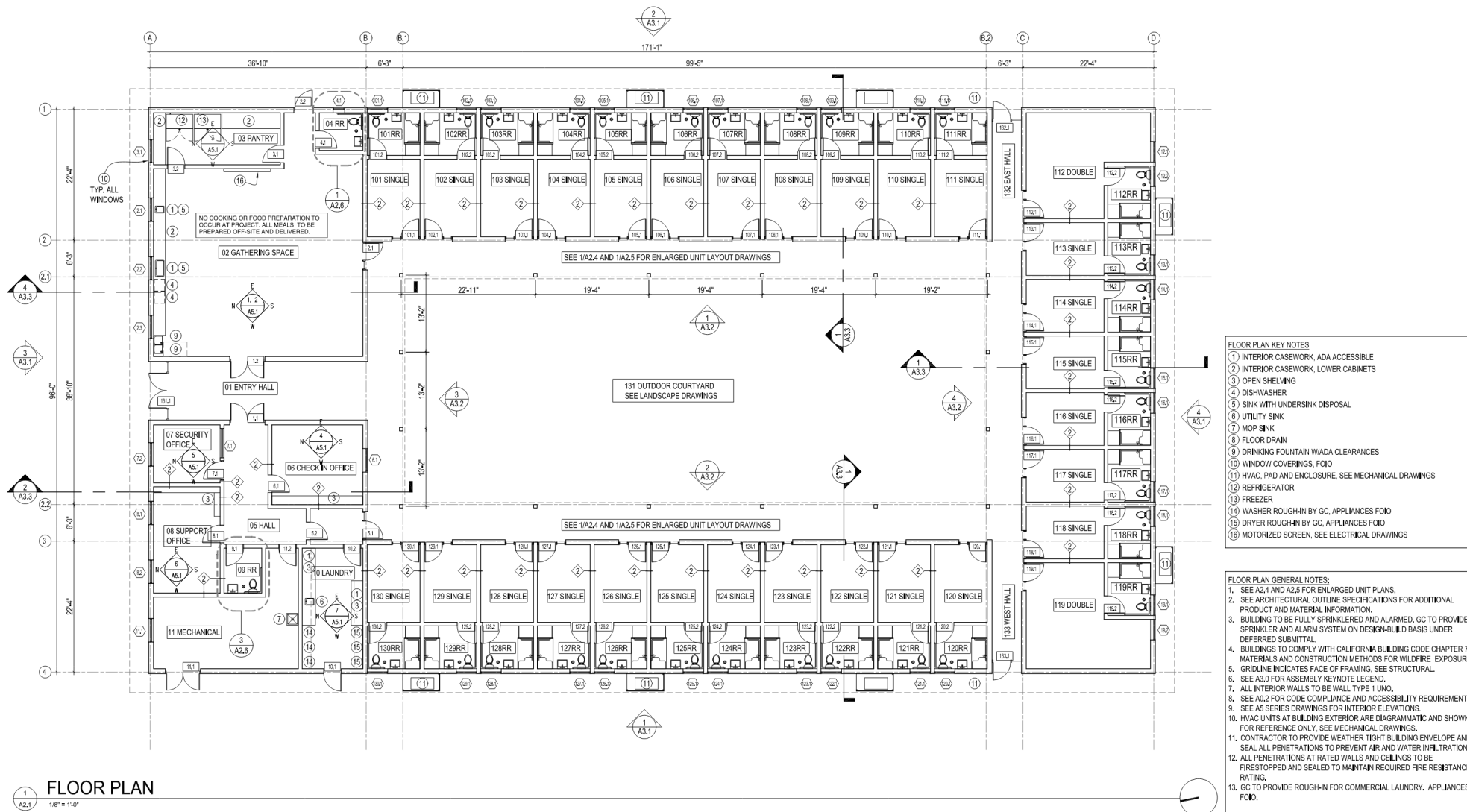
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Floor  
Plan  
A2.1

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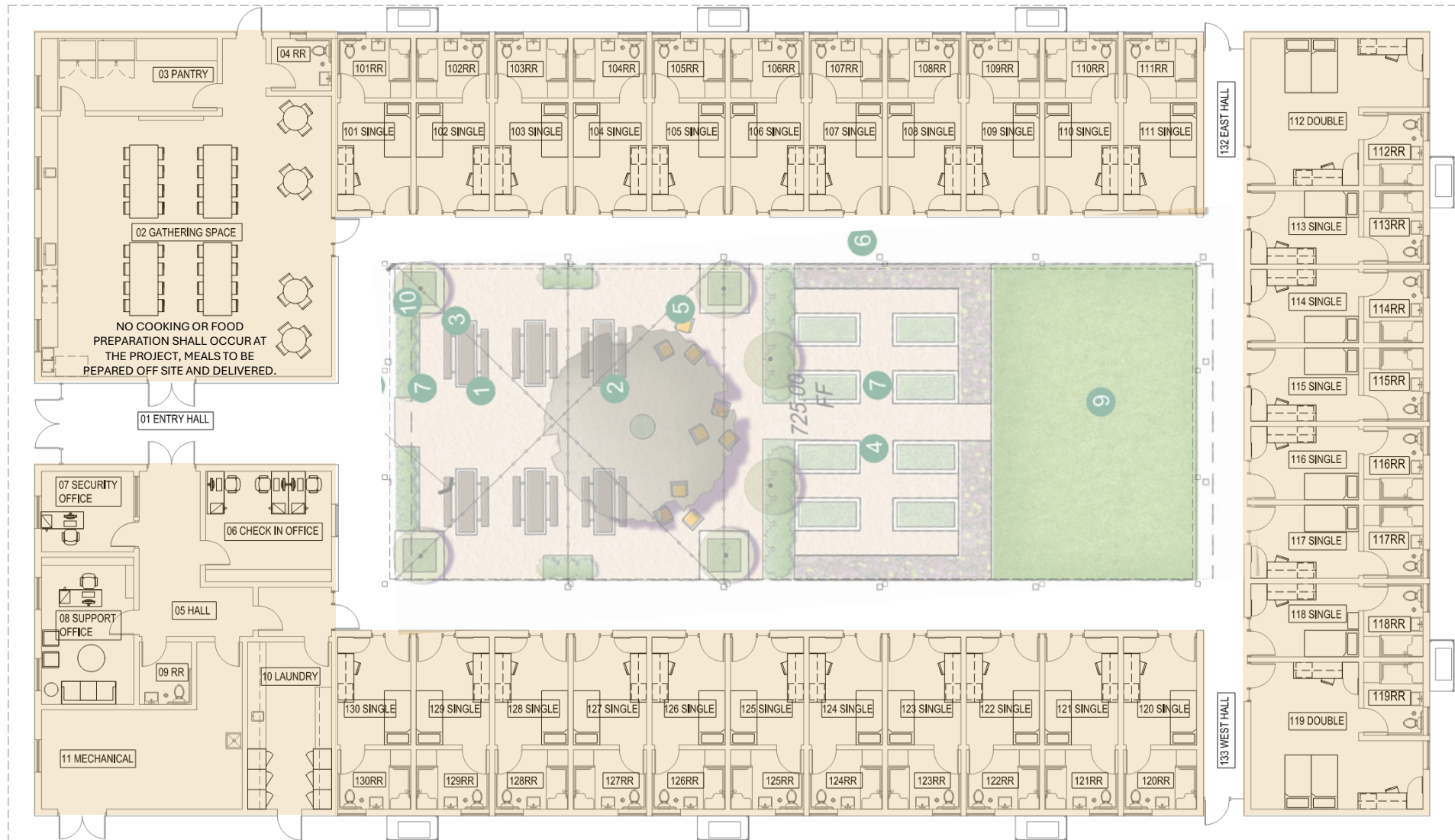


## FURNITURE PLAN

1/8" = 1'-0"

### FURNITURE PLAN GENERAL NOTES:

1. FURNITURE PLAN SHOWN FOR REFERENCE ONLY, ITEMS SHOWN HERE AND NOT ON A2.1 SHALL BE PROVIDED BY THE OWNER AND SHALL NOT BE INCLUDED IN THE CONTRACT FOR CONSTRUCTION.

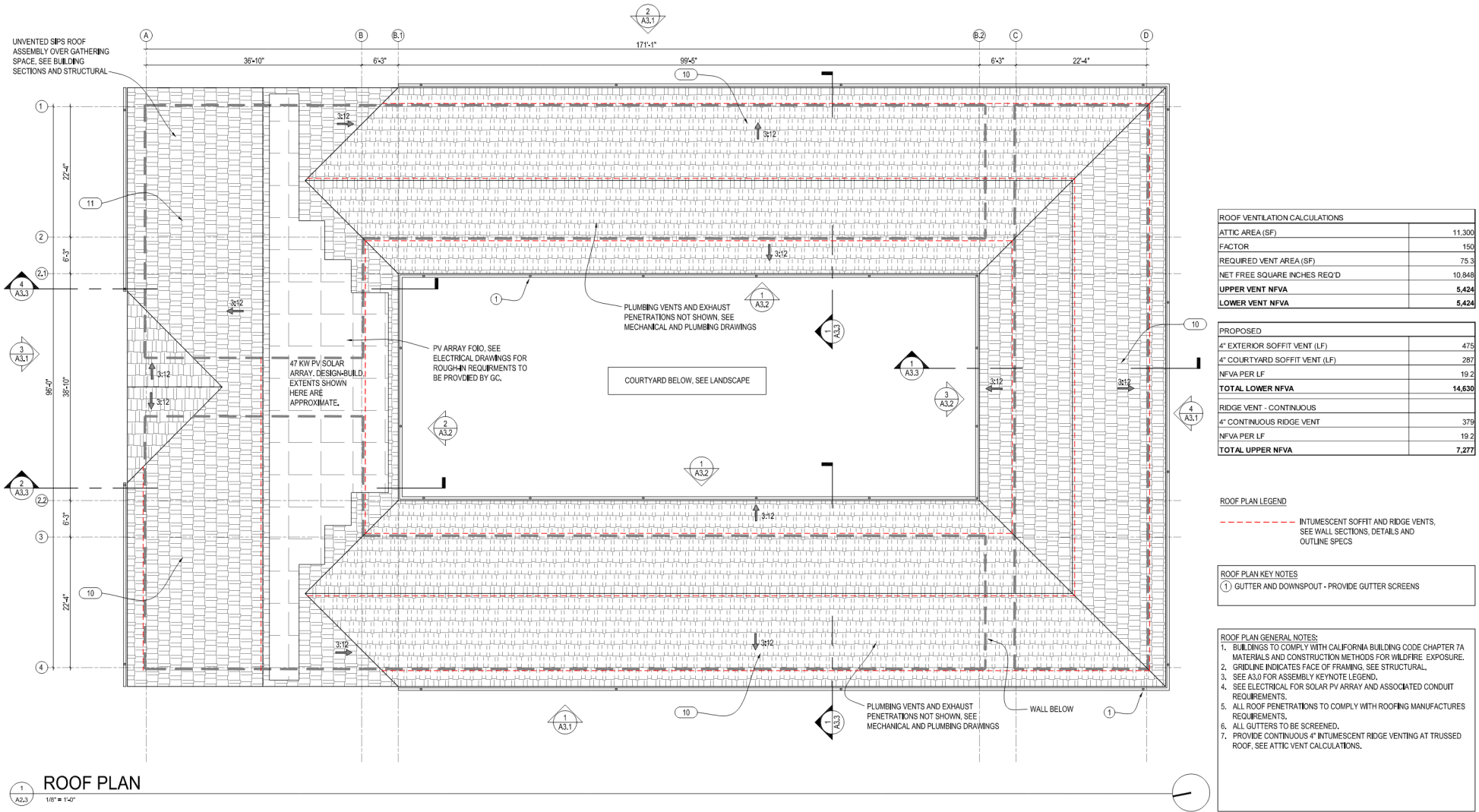


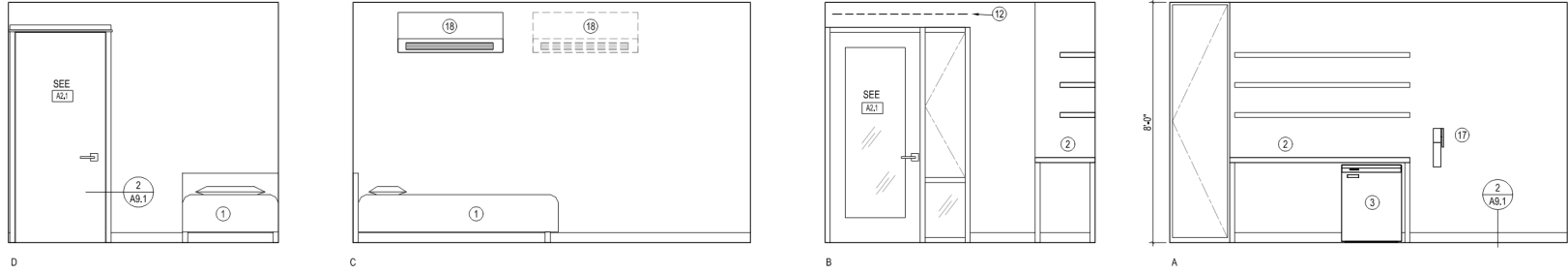


## Roof Plan

### A2.3

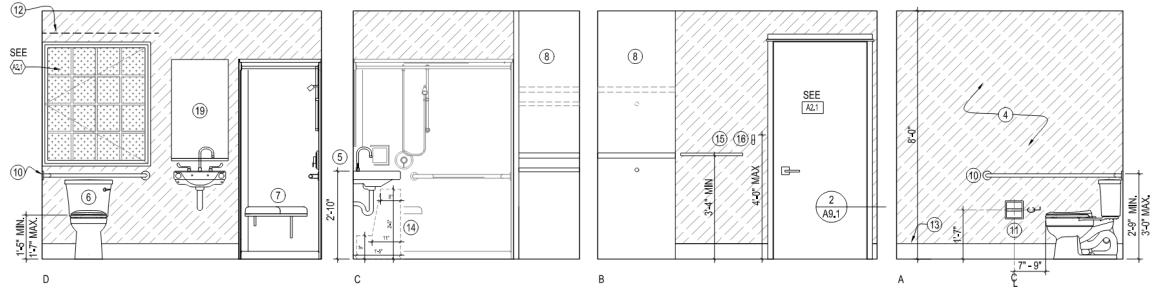
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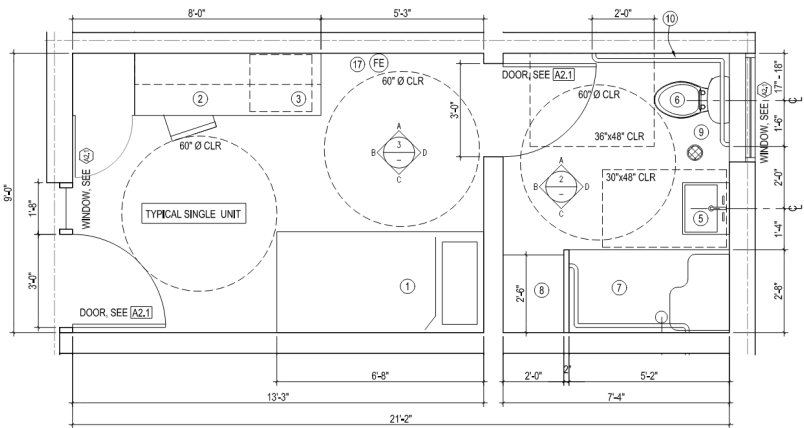
3  
A2.4  
1/2" = 1'-0"

**SINGLE UNIT INTERIOR ELEVATIONS**



2  
A2.4  
1/2" = 1'-0"

**SINGLE UNIT RESTROOM INTERIOR ELEVATIONS**



1  
A2.4  
1/2" = 1'-0"

**ENLARGED SINGLE UNIT FLOOR PLAN**

- UNIT PLAN KEY NOTES**
- 1 TWIN XL BED, STORAGE BELOW, FOIO
  - 2 DESK, SHELVES ABOVE, CLOSET, FOIO
  - 3 MINI FRIDGE BELOW, FOIO
  - 4 FRP WALL PANELING, FULL HEIGHT
  - 5 WALL MOUNTED SINK
  - 6 TOILET
  - 7 ROLL IN SHOWER INSTALL PER MFR REC, PROVIDE SHOWER CURTAIN
  - 8 CLOSET, ROD/SHELF ABOVE
  - 9 FLOOR DRAIN
  - 10 GRAB BAR
  - 11 TISSUE HOLDER
  - 12 WINDOW COVERINGS, FOIO
  - 13 6" COVE BASE
  - 14 MIN. KNEE CLEARANCES
  - 15 SHELF
  - 16 COAT HOOK
  - 17 FIRE EXTINGUISHER ON BRACKET
  - 18 HVAC, SEE MECHANICAL DRAWINGS
  - 19 FRAMELESS SS SHELF AND MIRROR
- UNIT PLAN GENERAL NOTES:**
1. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
  2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
  3. ALL INTERIOR WALLS TO BE WALL TYPE 1 UNO.
  4. SEE A0.2 AND A0.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
  5. SEE A5.2 FOR REFLECTED CEILING PLAN.
  6. DRAWINGS AND NOTES SHOWN HERE ARE TYPICAL FOR ALL SINGLE UNITS. PROVIDE MIRROR IMAGE OF LAYOUT FOR EVERY OTHER UNIT.
  7. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDL INFORMATION

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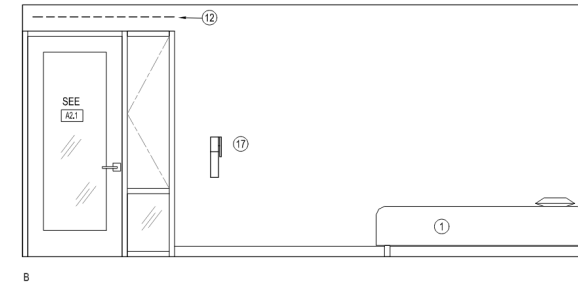
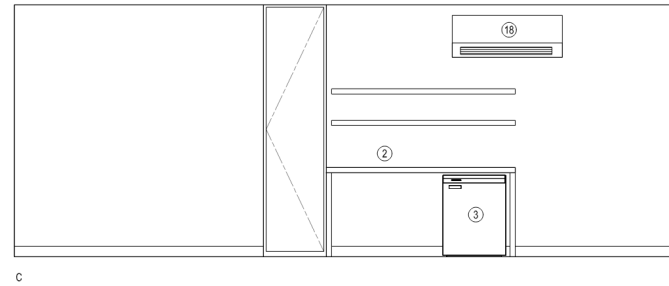
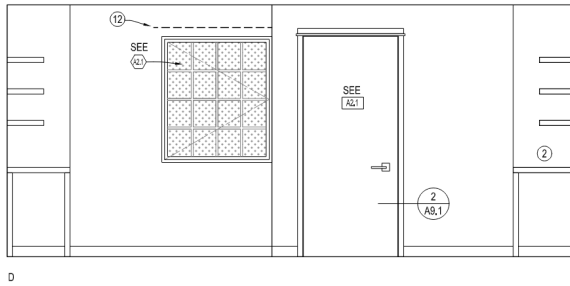
90% PERMIT SET

Single Unit  
Plan/Int. Elevs.

**A2.4**

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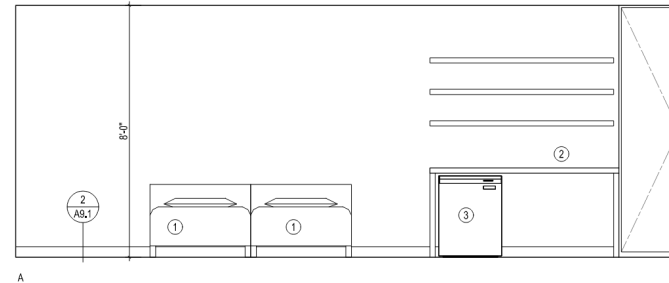




4  
A2.5  
1/2" = 1'-0"

**DOUBLE UNIT INTERIOR ELEVATIONS (CONT.)**

- UNIT PLAN KEY NOTES**
- 1) TWIN XL BED, STORAGE BELOW, FOIO
  - 2) DESK, SHELVES ABOVE, CLOSET, FOIO
  - 3) MINI FRIDGE BELOW, FOIO
  - 4) FRP WALL PANELING, FULL HEIGHT
  - 5) WALL MOUNTED SINK
  - 6) TOILET
  - 7) ROLL IN SHOWER INSTALL PER MFR REC. PROVIDE SHOWER CURTAIN
  - 8) CLOSET, ROD/SHELF ABOVE
  - 9) FLOOR DRAIN
  - 10) GRAB BAR
  - 11) TISSUE HOLDER
  - 12) WINDOW COVERINGS, FOIO
  - 13) 6" COVE BASE
  - 14) MIN. KNEE CLEARANCES
  - 15) SHELF
  - 16) COAT HOOK
  - 17) FIRE EXTINGUISHER ON BRACKET
  - 18) HVAC, SEE MECHANICAL DRAWINGS
  - 19) FRAMELESS SS SHELF AND MIRROR

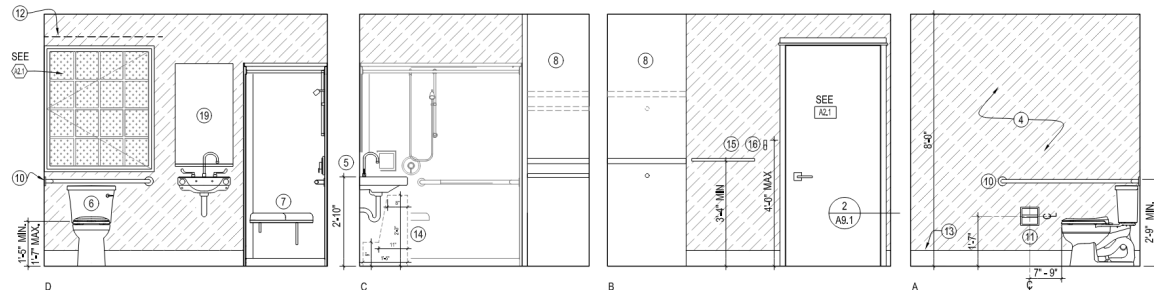


3  
A2.5  
1/2" = 1'-0"

**DOUBLE UNIT INTERIOR ELEVATIONS**

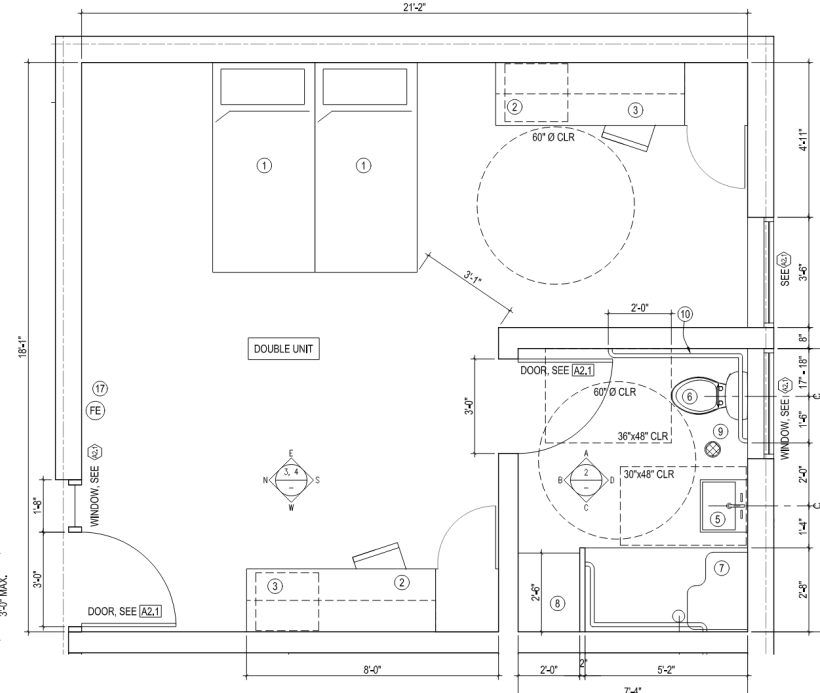
- UNIT PLAN GENERAL NOTES:**
1. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
  2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
  3. ALL INTERIOR WALLS TO BE WALL TYPE 1 UNO.
  4. SEE A2.2 AND A2.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
  5. SEE A2.2 FOR REFLECTED CEILING PLAN.
  6. DRAWINGS AND NOTES SHOWN HERE ARE TYPICAL FOR ALL SINGLE UNITS. PROVIDE MIRROR IMAGE OF LAYOUT FOR EVERY OTHER UNIT.
  7. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDL INFORMATION

NO COOKING OR FOOD PREPARATION TO OCCUR AT PROJECT.  
ALL MEALS TO BE PREPARED OFF-SITE AND DELIVERED.



2  
A2.5  
1/2" = 1'-0"

**DOUBLE UNIT RESTROOM INTERIOR ELEVATIONS**



1  
A2.5  
1/2" = 1'-0"

**ENLARGED DOUBLE UNIT FLOOR PLAN**

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Double Unit  
Plan/Int. Elevs.

**A2.5**

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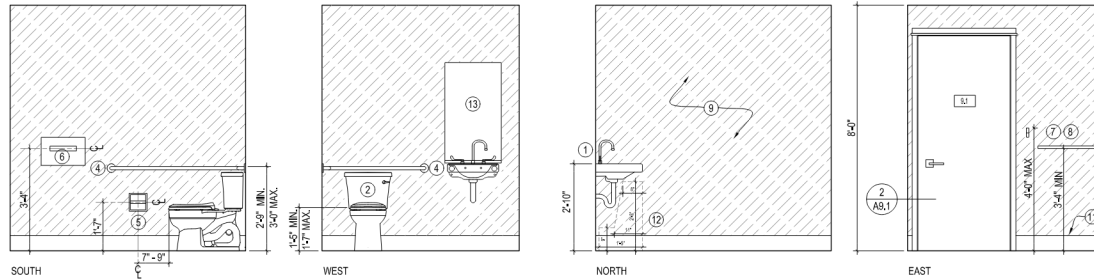
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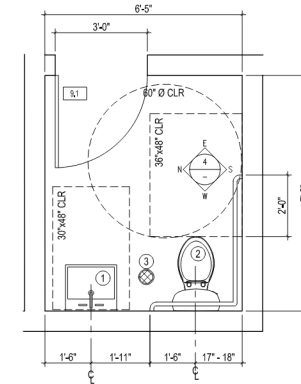
Restrooms  
Plans/Int. Elevs.

A2.6

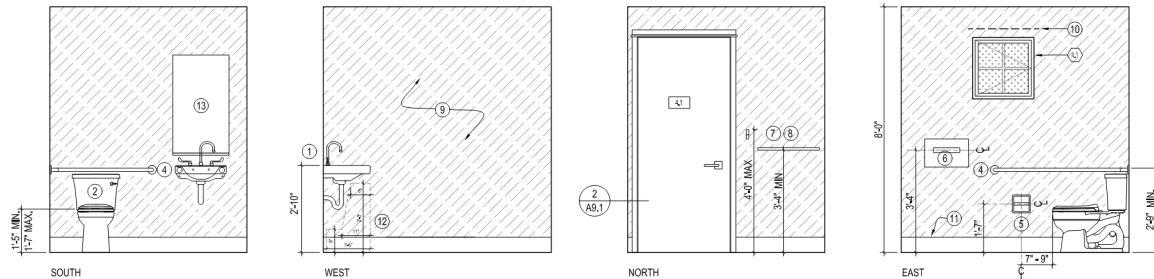
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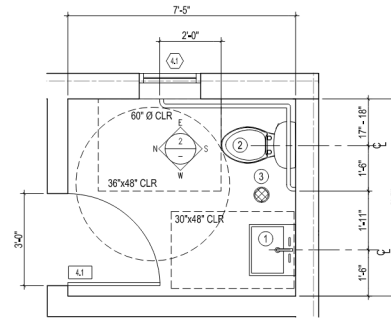
09 RESTROOM INTERIOR ELEVATIONS



ENLARGED 09 RESTROOM FLOOR PLAN



04 RESTROOM INTERIOR ELEVATIONS



ENLARGED 04 RESTROOM FLOOR PLAN

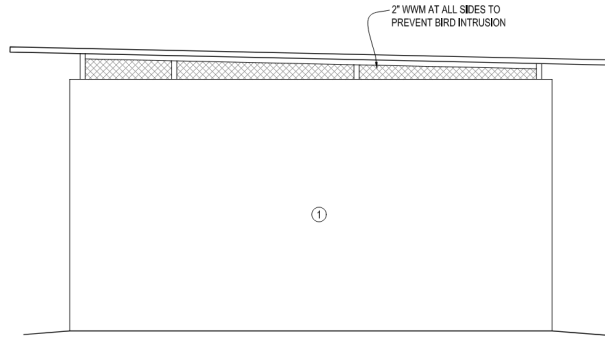
### RESTROOM FLOOR PLAN KEY NOTES

1. WALL MOUNTED SINK
2. TOILET
3. FLOOR DRAIN
4. GRAB BAR
5. TISSUE HOLDER
6. SEAT PAPER DISPENSER
7. COAT HOOK
8. SHELF
9. FRP WALL PANELING, FULL HEIGHT
10. WINDOW COVERINGS, FOIO
11. 6" COVE BASE
12. MIN. KNEE CLEARANCES
13. FRAMELESS SS SHELF AND MIRROR

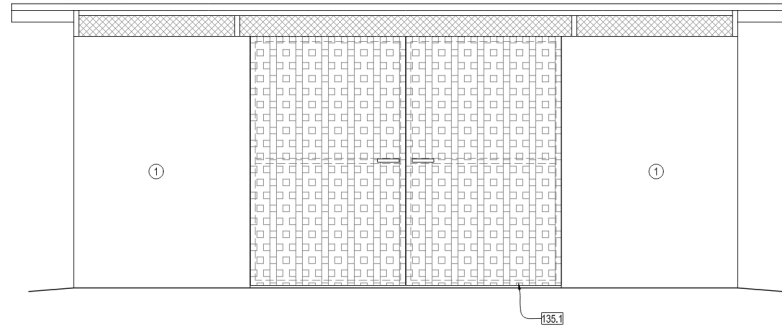
### RESTROOM FLOOR PLAN GENERAL NOTES:

1. GRIDLINE INDICATES FACE OF FRAMING. SEE STRUCTURAL.
2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
3. ALL INTERIOR WALLS TO BE WALL TYPE 2 UNLESS NOTED OTHERWISE.
4. SEE A02.2 AND A03.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.

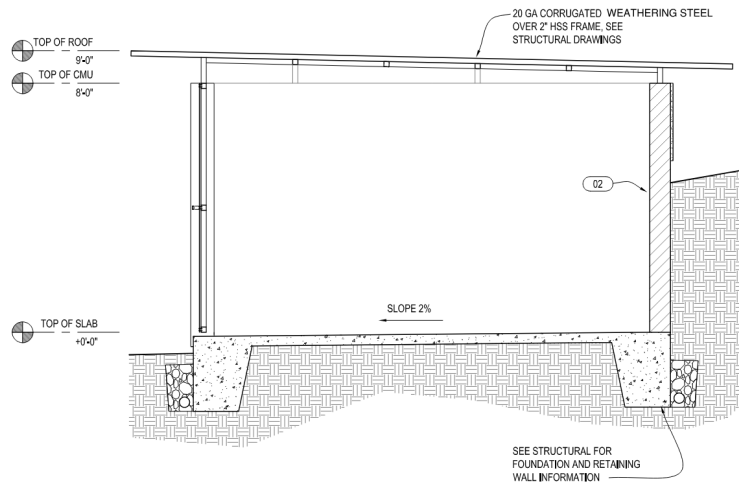




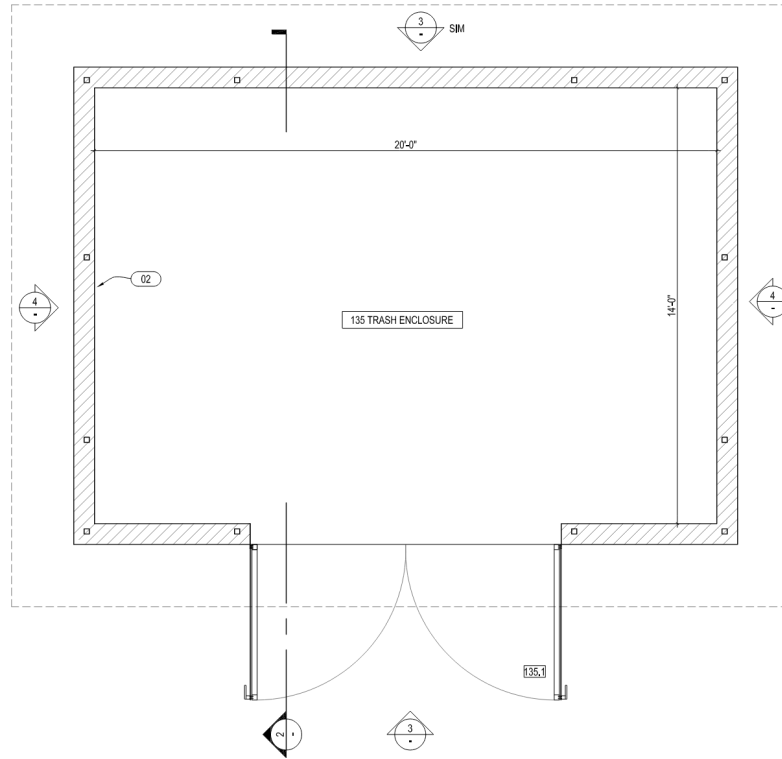
4 WEST AND EAST ELEVATION  
A2.8 1/2" = 1'-0"



3 SOUTH ELEVATION - NORTH SIMILAR  
A2.8 1/2" = 1'-0"



2 SECTION  
A2.8 1/2" = 1'-0"



1 FLOOR PLAN  
A2.7 1/2" = 1'-0"

TRASH ENCLOSURE KEY NOTES  
① STUCCO, SEE A3.0

TRASH ENCLOSURE GENERAL NOTES:  
1. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.  
2. SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.

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Trash  
Enclosure  
A2.8

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FINISH SCHEDULE

ROOM		FLOOR	CEILING	WALLS				REMARKS
#	NAME			NORTH	SOUTH	EAST	WEST	
01	ENTRY HALL	SEALED CONC	OPEN TO STRCT, VAULTED, STUCCO, FAUX BEAMS	-	-	STUCCO	STUCCO	UNCONDITIONED SPACE
02	GATHERING SPACE	SEALED CONC	OPEN TO STRCT, VAULTED, CSP, ACOUSTIC	PAINTED CSP	PAINTED CSP	PAINTED CSP	PAINTED CSP	
03	PANTRY	SEALED CONC	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
04	RESTROOM	SEALED CONC	PAINTED GWB	FRP	FRP	FRP	FRP	
05	HALL	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
06	CHECK IN OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
07	SECURITY OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
08	SUPPORT OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
09	RESTROOM	SEALED CONC	PAINTED CSP	FRP	FRP	FRP	FRP	
10	LAUNDRY	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
101-130	SINGLE/DOUBLE	SEALED CONC	PAINTED GWB	SEE WALL TAGS ON PLAN	SEE WALL TAGS ON PLAN	SEE WALL TAGS ON PLAN	SEE WALL TAGS ON PLAN	
101R-130R	ENSUITE RESTROOMS	SEALED CONC	PAINTED GWB	FRP	FRP	FRP	FRP	
134	STORAGE BUILDING	SEALED CONC	OPEN TO STRCT	PAINTED CSP	PAINTED CSP	PAINTED CSP	PAINTED CSP	UNCONDITIONED SPACE

NOTE: SEE PROJECT MANUAL FOR FINISH AND PAINT SPECIFICATIONS, TYPICAL.



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Dylan Johnson  
Santa Barbara, CA 93103  
206.459.7027 dylan@djaarchitects.com

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Schedules


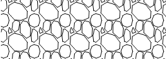










A2.11

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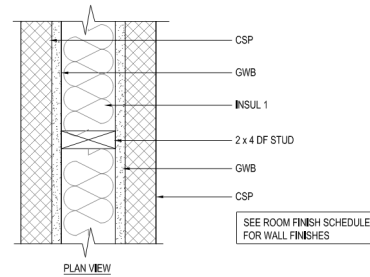


MATERIALS LEGEND

	COMPRESSED STRAW PANEL (CSP)
	FIBER CEMENT PANEL
	PLYWOOD
	INTERIOR WOOD PANELING
	GYPSUM BOARD (GWB)
	WATER AND AIR BARRIER (WAB)
	POLYETHYLENE BUILDING WRAP (PBW)
	LIQUID APPLIED WATER & AIR BARRIER (LWAB) / BITUMINOUS DAMP PROOFING (BDP)
	SELF ADHERED FLASHING (SAF)
	THERMOPLASTIC ROOFING MEMBRANE (TMR)
	VAPOR RETARDER (VR)
	WOOD FRAMING SILL SEALER
	ACOUSTIC CEILING TILE (ACT)
	CARPET (CPT)
	MORTAR NET
	DRAINAGE MAT (DM)
	BENTONITE WATERPROOFING (BWP-1)
	GEOTEXTILE FABRIC

	EARTH
	CAPILLARY BREAK
	CONCRETE
	STUCCO/PLASTER
	FROSTED PRIVACY GLASS
	INSUL 1
	INSUL 2
	INSUL 3
	RIGID INSUL
	FIBERGLASS
	WOOD FRAMING / SHIM
	WOOD FRAMING / DIMENSIONAL LUMBER

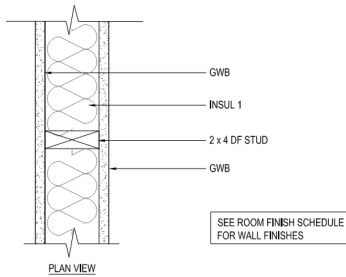
INTERIOR WALL TYPE LEGEND



2 WALL TYPE 2: 1 HOUR RATED ACOUSTIC PARTITION

NOTES:

1. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
2. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
3. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS AT ACOUSTIC WALL MIN (2) STUD BAYS.
4. PROVIDE INTUMESCENT SEALANT AT PANEL JOINTS PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN 1-HOUR RATING.



1 WALL TYPE 1: 1 HOUR RATED ACOUSTIC PARTITION

NOTES:

1. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
2. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
3. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS AT ACOUSTIC WALL MIN (2) STUD BAYS.

ASSEMBLY KEYNOTE LEGEND

00: WALLS

REF ASSEMBLY DESCRIPTION

- 01 EXTERIOR WALL  
STUCCO FINISH (LA HABRA SMOOTH, SANTA BARBARA FINISH, COLOR P-6 EL DORADO COLOR)  
O/WATER AND AIR BARRIER, O/STRUCTURAL SHEATHING, O/FRAMING PER STRUCTURAL WINSUL 1 AT  
STUD CAVITY W/CSP AT INTERIOR FACE W/FINISH PER ROOM FINISH SCHEDULE
- 02 TRASH ENCLOSURE WALL  
STUCCO TO MATCH WALL ASSEMBLY 01 O/INFORCED 8" CMU BLOCK W/PAINT ON INTERIOR FACE.

10: ROOFS

REF ASSEMBLY DESCRIPTION

- 10 TYPICAL  
CLASS A TILE ROOFING AND UNDERLAYMENT ASSEMBLY O/STRUCTURAL SHEATHING O/TRUSSES PER  
STRUCTURAL.
- 11 GATHERING SPACE  
CLASS A TILE ROOFING AND UNDERLAYMENT ASSEMBLY O/SIPS O/EXPOSED FRAMING PER  
STRUCTURAL.

20: FLOORS

REF ASSEMBLY DESCRIPTION

- 20 TYPICAL  
HARD TROWELLED CONCRETE W/ WATER-BASED LACQUER FINISH, SAW-CUT 1/2" CONTROL JOINTS.  
LOCATE CONTROL JOINTS UNDER PARTITION WALLS AND COORDINATE ALL LOCATIONS W/ARCHITECT  
THROUGH SUBMITTAL PROCESS.

30: CEILINGS AND SOFFITS

REF ASSEMBLY DESCRIPTION

- 30 PAINTED GWB O/STRUCTURE.
- 31 PAINTED CSP O/STRUCTURE.
- 32 STUCCO TO MATCH WALL W/ SOFFIT VENT O/STRUCTURE.

ASSEMBLY GENERAL NOTES:

1. SEE A0.1 FOR ABBREVIATIONS.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. ALL MATERIALS AND SYSTEMS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
4. GENERAL CONTRACTOR TO SEAL ALL PENETRATIONS AND PROVIDE WEATHER TIGHT BUILDING ENVELOPE.
5. SEAL PERIMETER OF ACOUSTIC WALLS W/ NON-HARDENING MASTIC.
6. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS W/ NON-HARDENING MASTIC.
7. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS @ ACOUSTIC WALL @ MIN. (2) STUD BAYS.
8. SEE INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE FOR ADDITIONAL WALL AND CEILING FINISHES.



Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

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Assembly  
Keynote Legend

A3.0

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# Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

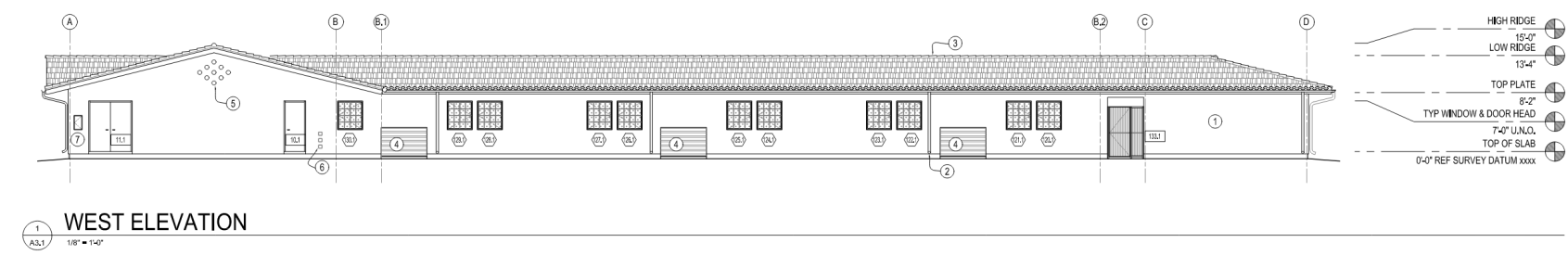
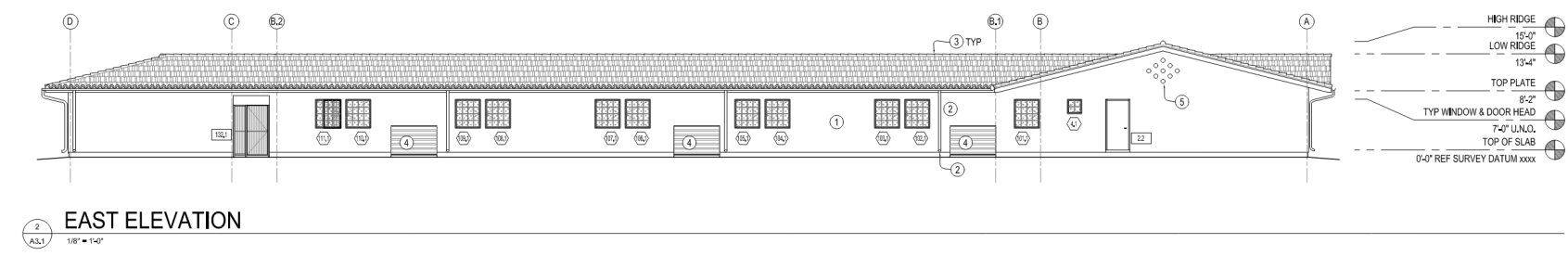
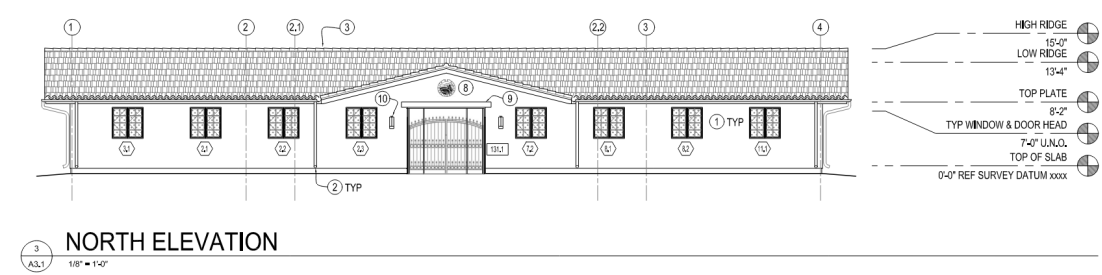
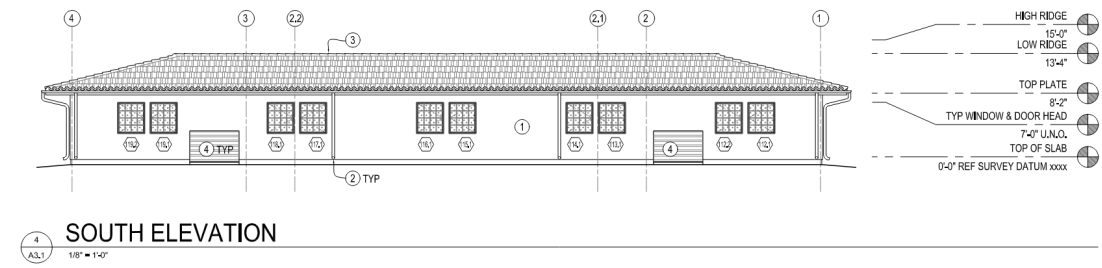
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Exterior  
Elevations  
**A3.1**

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- ELEVATION KEY NOTES**
- 1 STUCCO, SEE A3.0
  - 2 GUTTER AND DOWNSPOUT
  - 3 ROOFING, SEE A3.0
  - 4 NON-COMBUSTIBLE HVAC SCREEN, SEE XXVIA8.XX
  - 5 INTUMESCENT GABLE VENT BEHIND 6" TERRACOTTA VENTS AT STUCCO, SEE XXVIA8.XX
  - 6 DRYER VENT, FOIO
  - 7 ELECTRIC METER, SEE ELECTRICAL DRAWINGS
  - 8 ENTRY SIGN, FOIO
  - 9 TIMBER HEADER, SEE XXVIA8.XX
  - 10 WALL SCONCE, SEE A16.1

- ELEVATION GENERAL NOTES:**
- 1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
  - 2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
  - 3. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.



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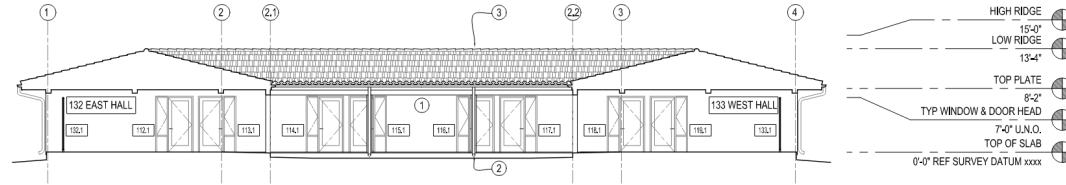
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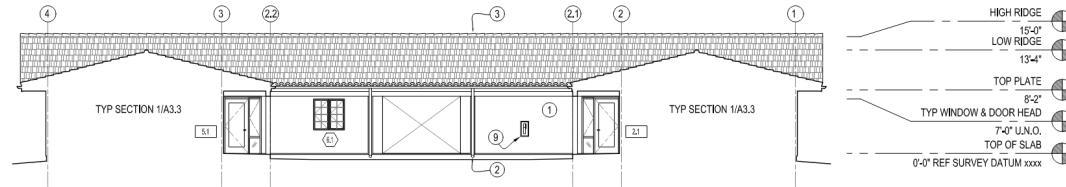
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Exterior  
Elevations  
**A3.2**

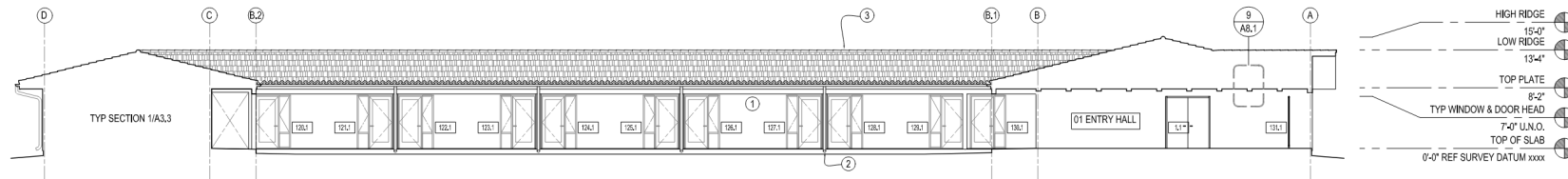
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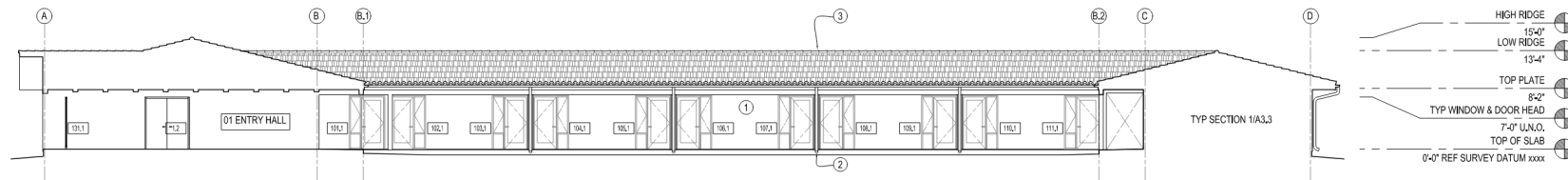
3 SOUTH COURTYARD/ARCADE ELEVATION  
A3.1 1/8" = 1'-0"



2 NORTH COURTYARD/ARCADE ELEVATION  
A3.1 1/8" = 1'-0"



1 WEST COURTYARD/ARCADE ELEVATION  
A3.1 1/8" = 1'-0"



1 EAST COURTYARD/ARCADE ELEVATION  
A3.1 1/8" = 1'-0"

- ELEVATION KEY NOTES
- 1 STUCCO, SEE A3.0
  - 2 GUTTER AND DOWNSPOUT
  - 3 ROOFING, SEE A3.0
  - 4 NON-COMBUSTIBLE HVAC SCREEN
  - 5 GABLE VENT, SEE A2.3
  - 6 DRYER VENT, F.O.D.
  - 7 ELECTRIC METER
  - 8 ENTRY SIGN
  - 9 FIRE EXTINGUISHER ON BRACKET

- ELEVATION GENERAL NOTES:
- 1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
  - 2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
  - 3. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY. SEE MECHANICAL DRAWINGS.

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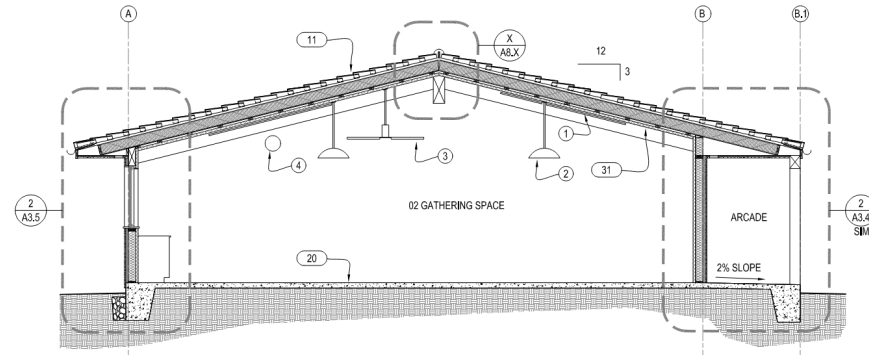
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Building  
Sections

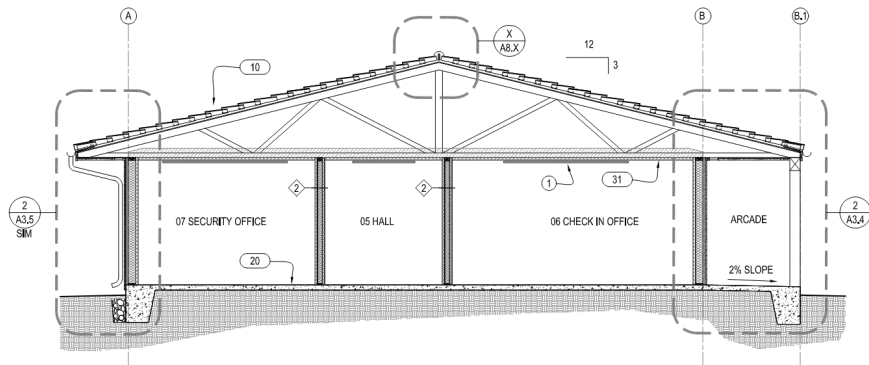
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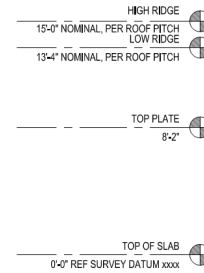
**BUILDING SECTION**

4  
A3.3  
1/4" = 1'-0"



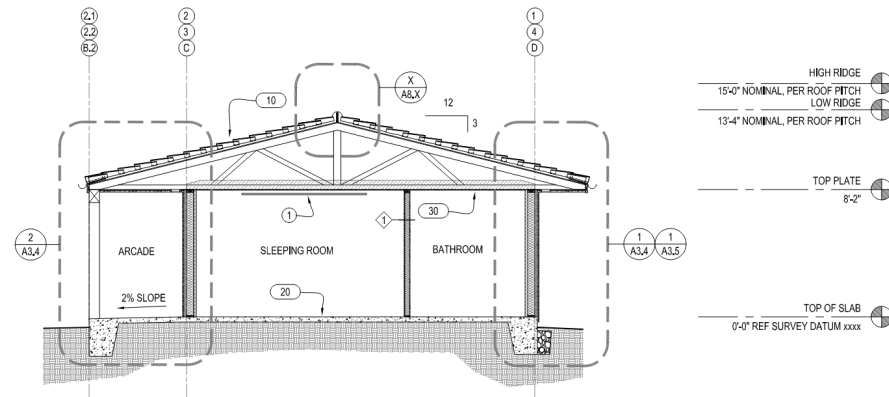
**BUILDING SECTION**

2  
A3.3  
1/4" = 1'-0"



SECTION KEY NOTES  
1. ACOUSTIC PANEL, SEE A6.1  
2. LIGHT FIXTURE, SEE A6.1  
3. FAN, SEE A6.1  
4. HVAC DUCT, SEE MECHANICAL DRAWINGS

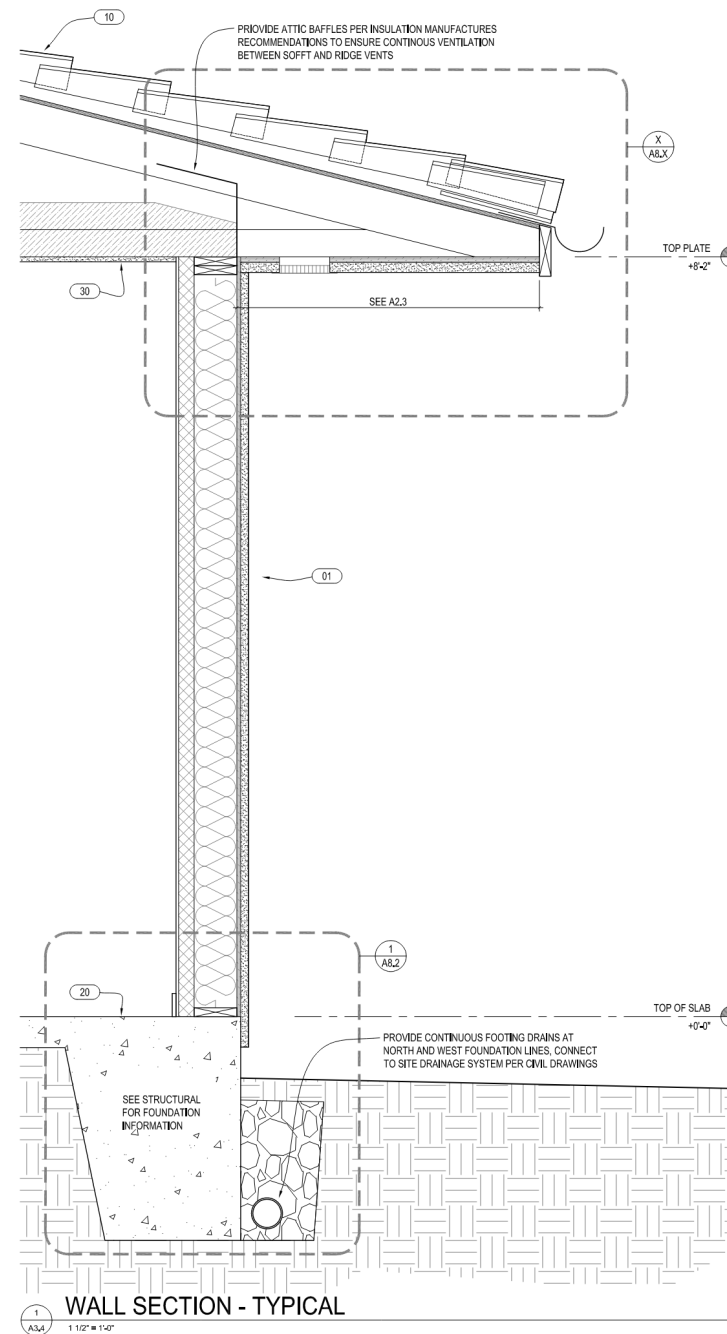
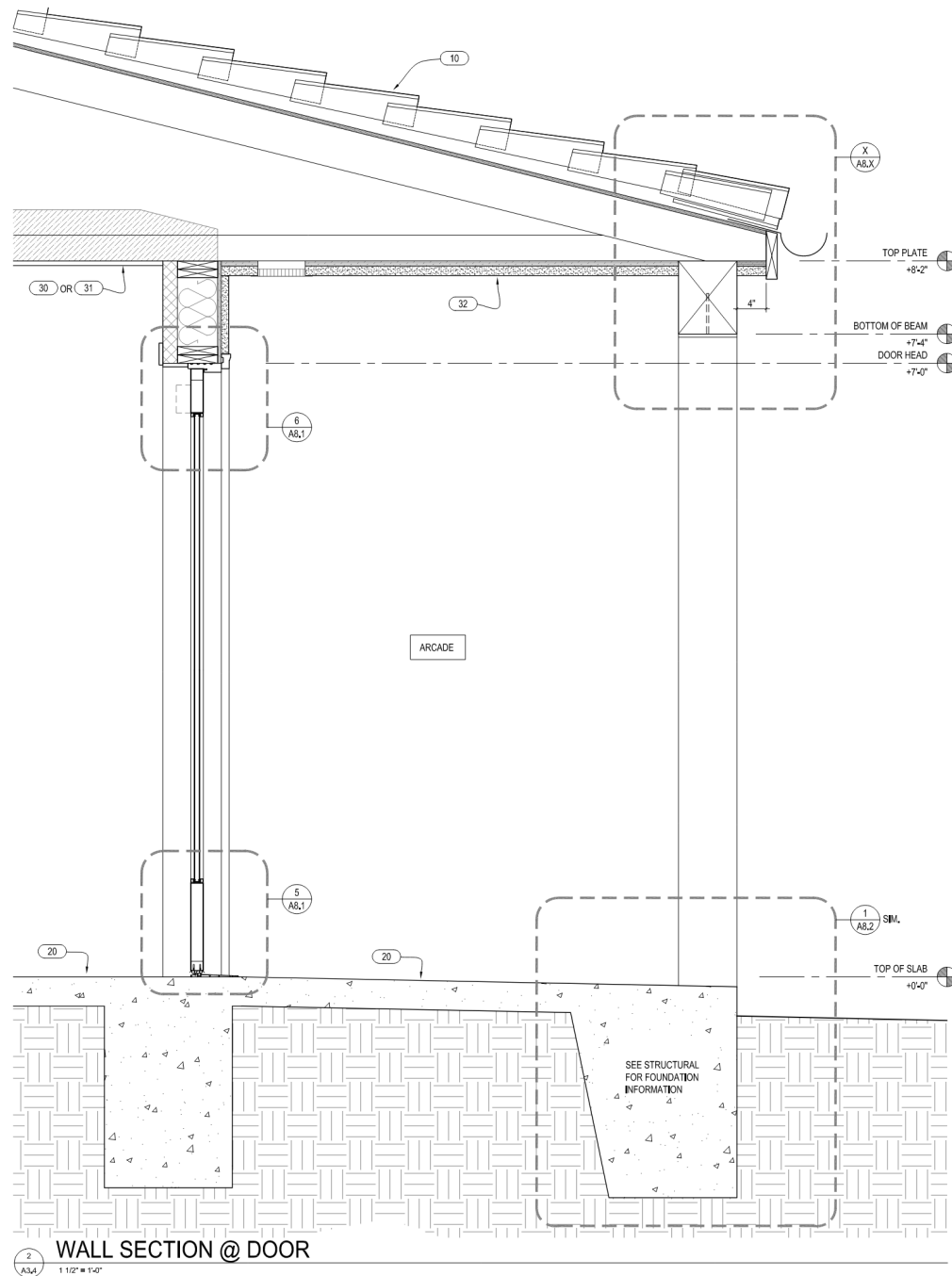
SECTION GENERAL NOTES:  
1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.  
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.  
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.



**TYPICAL BUILDING SECTION**

1  
A3.3  
1/4" = 1'-0"





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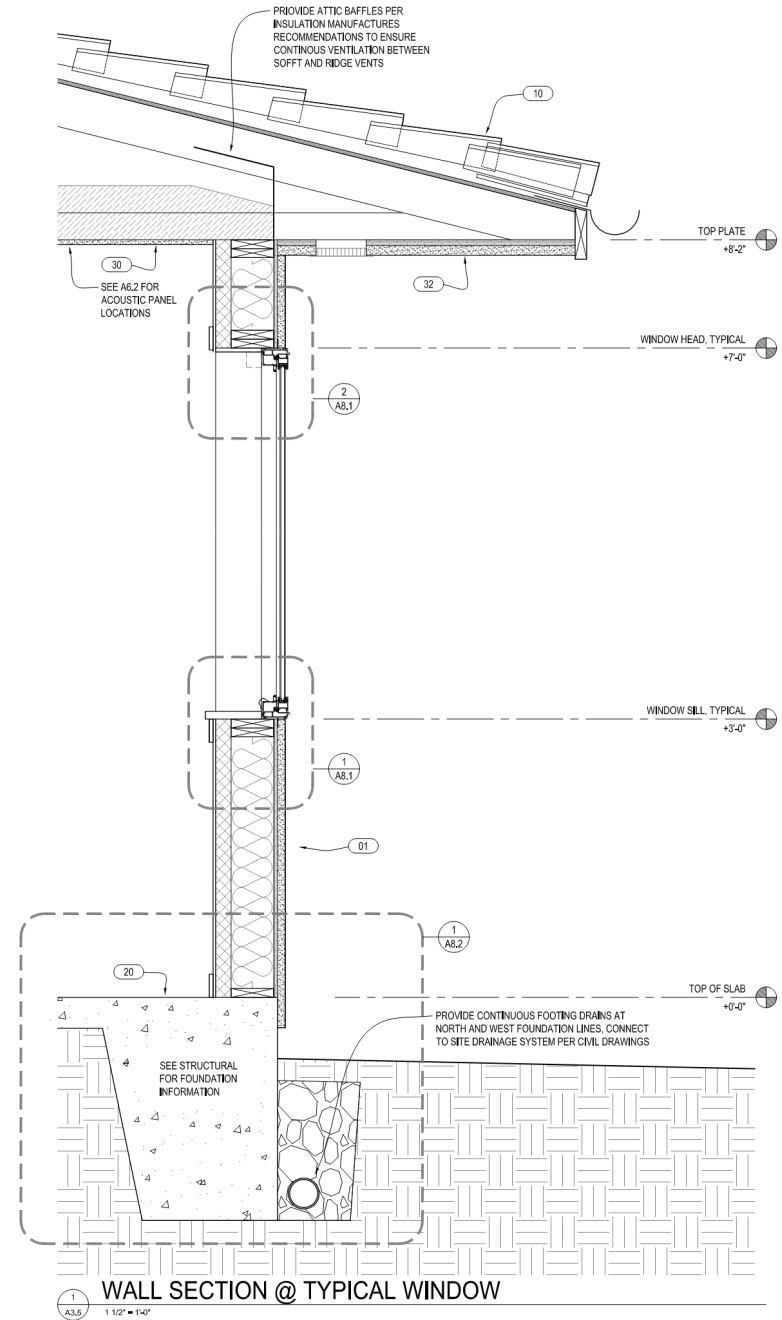
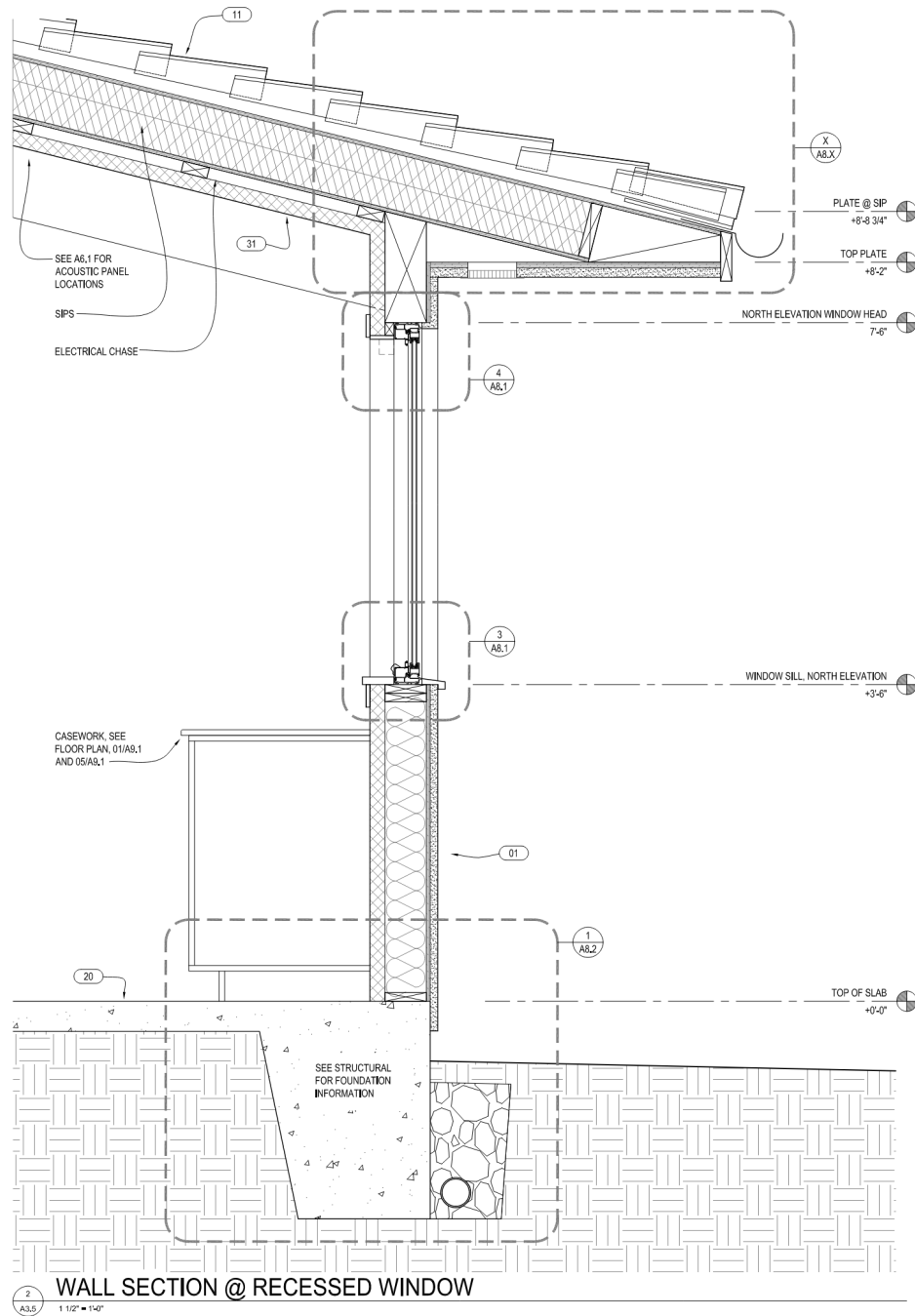
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Wall  
Sections

**A3.4**

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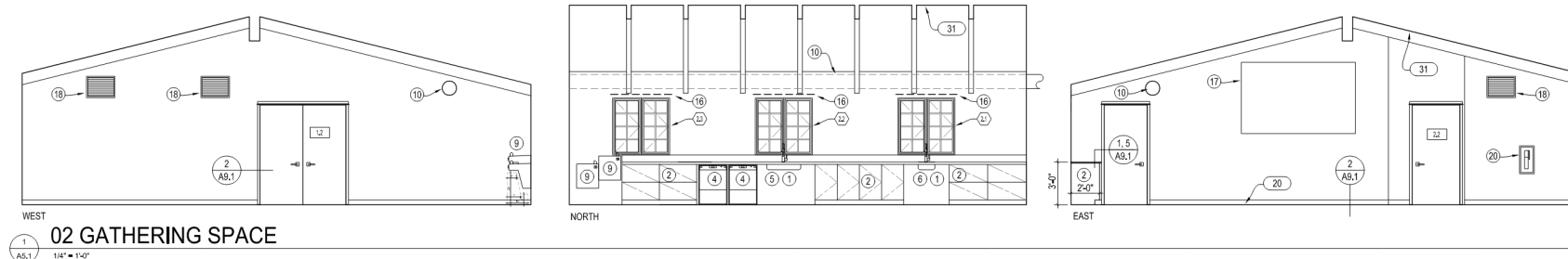
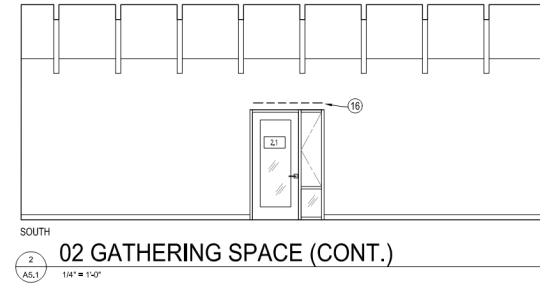
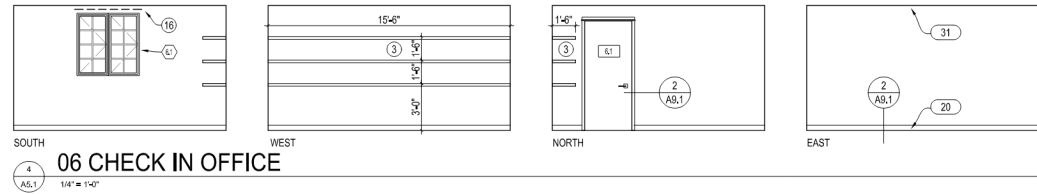
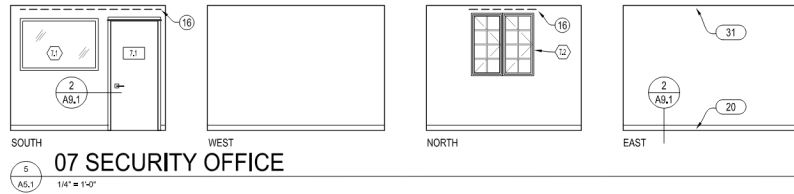
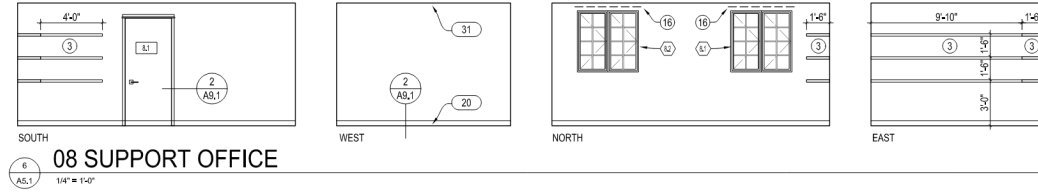
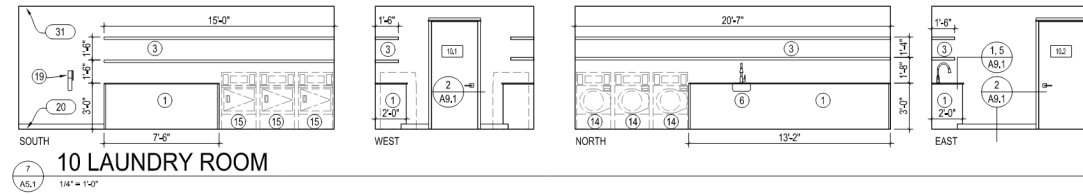
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Wall  
Sections  
**A3.5**

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**INTERIOR ELEVATION GENERAL NOTES:**

- SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDITIONAL PRODUCT AND MATERIAL INFORMATION.
- SEE A5.1 FOR ASSEMBLY KEYNOTE LEGEND.
- SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
- PROVIDE WINDOW COVERINGS AT ALL GLAZING.
- SEE A6.1, A6.2 AND ELECTRICAL DRAWINGS FOR OUTLETS.

**INTERIOR ELEVATION KEY NOTES**

- INTERIOR CASEWORK, ADA ACCESSIBLE
- INTERIOR CASEWORK, LOWER CABINETS
- OPEN SHELVING, FOIO
- DISHWASHER
- SINK WITH UNDERSINK DISPOSAL
- UTILITY SINK
- MOP SINK
- FLOOR DRAIN
- DRINKING FOUNTAIN W ADA CLEARANCES
- HVAC DUCT, SEE MECHANICAL
- HVAC, PAD AND ENCLOSURE, SEE MECHANICAL DRAWINGS
- REFRIGERATOR
- FREEZER
- WASHER ROUGH IN BY GC, APPLIANCES FOIO
- DRYER ROUGH IN BY GC, APPLIANCES FOIO
- WINDOW COVERINGS, FOIO
- MOTORIZED SCREEN, SEE ELECTRICAL DRAWINGS, ROUGH IN BY GC, DEVICE FOIO
- HVAC GRILLE, SEE MECHANICAL DRAWINGS
- FIRE EXTINGUISHER ON BRACKET
- FEC

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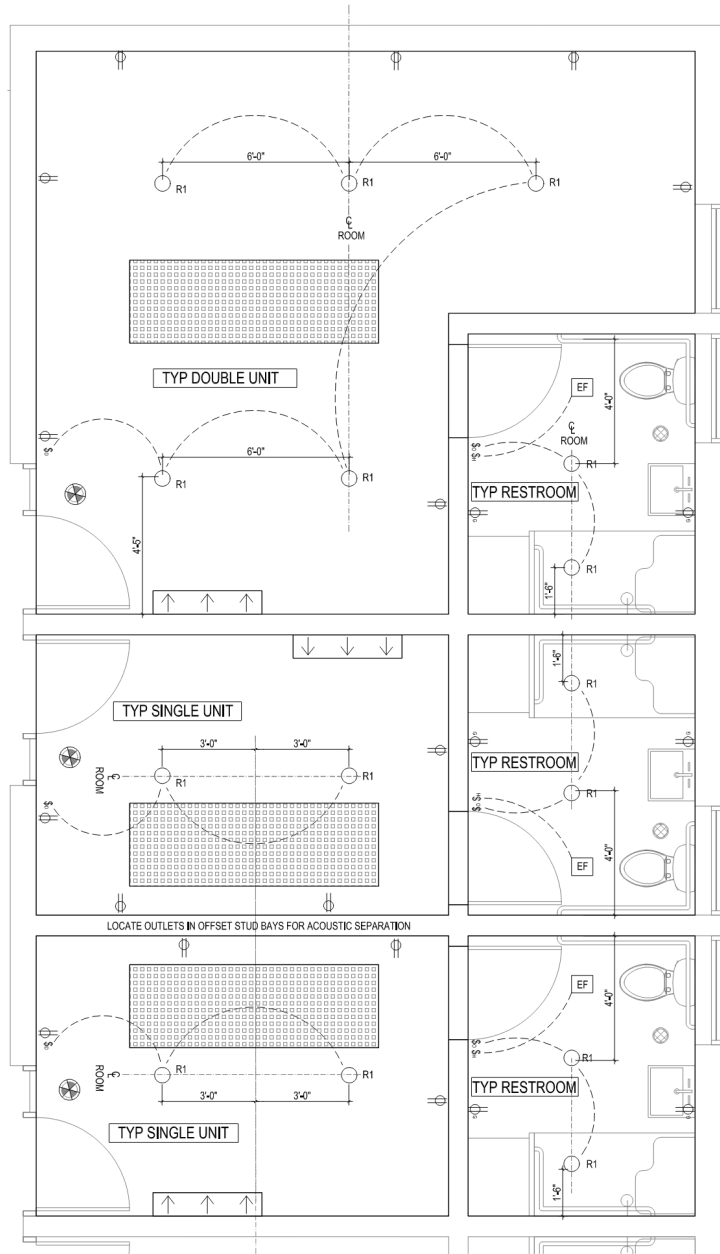
Interior  
Elevations

**A5.1**

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1  
A6.2  
1/2" = 1'-0"

ENLARGED REFLECTED CEILING PLAN

- REFLECTED CEILING PLAN GENERAL NOTES:
1. RCP FOR FIXTURE AND DEVICE LAYOUT, SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  2. SEE A6.2 FOR TYPICAL RESIDENTIAL UNIT RCPs
  3. ALL SPACES CEILING HEIGHT 8'-0" AFF UNO (GATHERING SPACE IS VAULTED, OPEN TO STRUCTURE)
  4. ALL SOFFITS 1'-0" AFF UNO, SEE A8.1 FOR CORBEL DETAILS
  5. SPRINKLER SYSTEM NOT SHOWN, TO BE PROVIDED DESIGN-BUILD UNDER DEFERRED SUBMITTAL, PROVIDE COORDINATION DRAWING WITH RCPs.
  6. SEE ENERGY DOCUMENTATION FOR MINIMUM PERFORMANCE STANDARDS.
  7. ALL LUMINAIRES TO BE LED, DIMMABLE, 2700K 90+ CRI.
  8. SEE A2.9 FOR DEVICE SCHEDULES.
  9. UNO, FIXTURES TO BE INSTALLED ALIGNED WITH ONE ANOTHER AND CENTERED BETWEEN STRUCTURE AND/OR WALLS.
  10. SEE STRUCTURAL DRAWINGS FOR BEAM SIZES AND CLEAR HEADROOM BELOW BEAMS.
  11. AT GATHERING AREA COUNTERTOPS, PROVIDE EQUALLY SPACED GFCI OUTLETS AT 24" O.C.
  12. ALL CONDUIT, PIPING AND DUCTWORK TO BE CONCEALED.
  13. SEE A3.0 FOR ASSEMBLY KEYNOTE SCHEDULE.
  14. LAYOUT OF GENERAL USE DUPLEX OUTLETS ARE SHOWN, ELECTRICAL SYSTEM SHALL INCLUDE POWER SUPPLY TO APPLIANCES AND MECHANICAL SYSTEM AS REQUIRED, PROVIDE GFCI OUTLETS AND WEATHER PROTECTION PER 2022 CEC.
  15. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED AND/OR LOW VOLTAGE LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON-SITE AT TIME OF FIELD INSPECTION.
  16. FIRESTOP ALL PENETRATIONS IN RATED WALLS SEPARATING UNITS.
  17. PROVIDE GFCI PROTECTION TO ALL 120V RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, GATHERING SPACE, MECHANICAL, STORAGE BUILDING AND LAUNDRY.
  18. PROVIDE GFCI PROTECTION FOR DISHWASHER OUTLETS.
  19. PROVIDE OCCUPANCY AND HUMIDITY SENSORS PER CEC.
  20. PROVIDE TIMERS AS REQUIRED BY CODE FOR OUTDOOR FIXTURES.
  21. PROVIDE MINIMUM QNTY OF GENERAL USE OUTLETS EVERY 6' ALONG WALLS OF OFFICES, HALLS, MECHANICAL AND LAUNDRY.
  22. ALL PENETRATIONS AT RATED WALLS AND CEILINGS TO BE FIRESTOPPED AND SEALED TO MAINTAIN REQUIRED FIRE RESISTANCE RATING.

ELECTRICAL FIXTURE AND DEVICE LEGEND

- R1 RECESSED FIXTURE 1 - FIRE RATED DISK 4" DISK LIGHT, DIMMABLE, 2700K 90+ CRI, WET RATED - DARK SKY COMPLIANT, CENTER IN ROOM, BETWEEN STRUCT, OR MOUNT 24" OFF WALL UNO
- W1 EXTERIOR WALL MOUNTED SCONCE
- P1 PENDANTS, MILLENNIUM LIGHTING RWHC17R, MATTE BLACK FINISH, 2700K HALF MIRROR BULBS, MOUNT BOTTOM OF FIXTURE 8'-0" AFF, CENTER BETWEEN STRUCT
- 5'-0" Ø CEILING FAN
- S1 WALL SWITCH 1, MOUNT CENTER AT 48" AFF (SUBSCRIPT "D" INDICATES DIMMER, TYP)
- S3 WALL SWITCH (3 WAY), MOUNT CENTER AT 48" AFF
- S5 WALL SWITCH (TIMER), MOUNT CENTER AT 48" AFF
- S7 WALL SWITCH - HUMIDITY SENSOR
- S9 WALL SWITCH - OCCUPANCY SENSOR
- TAMPER RESISTANT GENERAL USE DUPLEX OUTLET MOUNT TOP CENTER AT 12" AFF (36" AFF WHEN ABV COUNTERTOP)
- TAMPER RESISTANT FLOOR OUTLET
- TAMPER RESISTANT GFCI OUTLET, PROVIDE POST-MOUNTED UL LISTED COVER AT EXTERIOR
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- DATA OUTLET
- TELEPHONE JACK
- HARDWIRED SECURITY CAMERA, REVIEW COVERAGE WITH OWNER
- EXIT SIGN
- ELEC PANEL, SEE ELECTRICAL DRAWINGS
- ACOUSTIC PANEL

HVAC LEGEND SEE MECHANICAL DRAWINGS FOR ADDL INFORMATION

- EF EXHAUST FAN, SEE MECHANICAL DRAWINGS
- WALL MOUNTED MINI SPLIT

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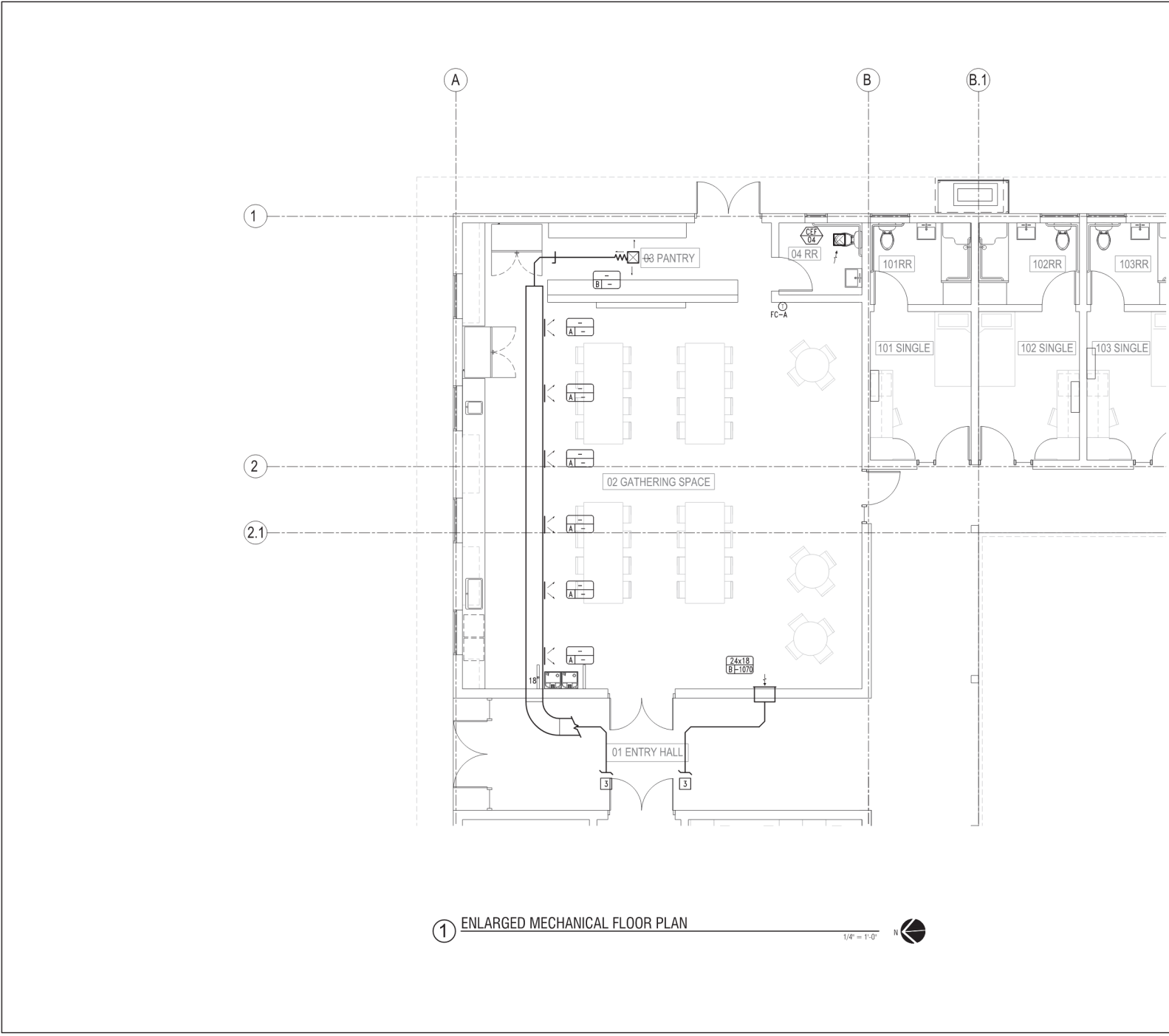
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Enlarged  
Unit RCPs  
**A6.2**

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1 ENLARGED MECHANICAL FLOOR PLAN

1/4" = 1'-0"



KEYNOTES

- 1 TRANSITION DUCT FROM ROUND TO RECTANGULAR, ROUTE INTO DROPPED SOFFIT, COORDINATE WITH ARCHITECT.
- 2 ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
- 3 SEE SHEET M2.3 FOR CONTINUATION.

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ENGINEERING  
CONSULTANTS  
INC.

315 E Canon Perdido, Ste B  
Santa Barbara, CA 93101  
Tel (805) 957-4632



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OJAI PERMANENT  
SUPPORTIVE HOUSING

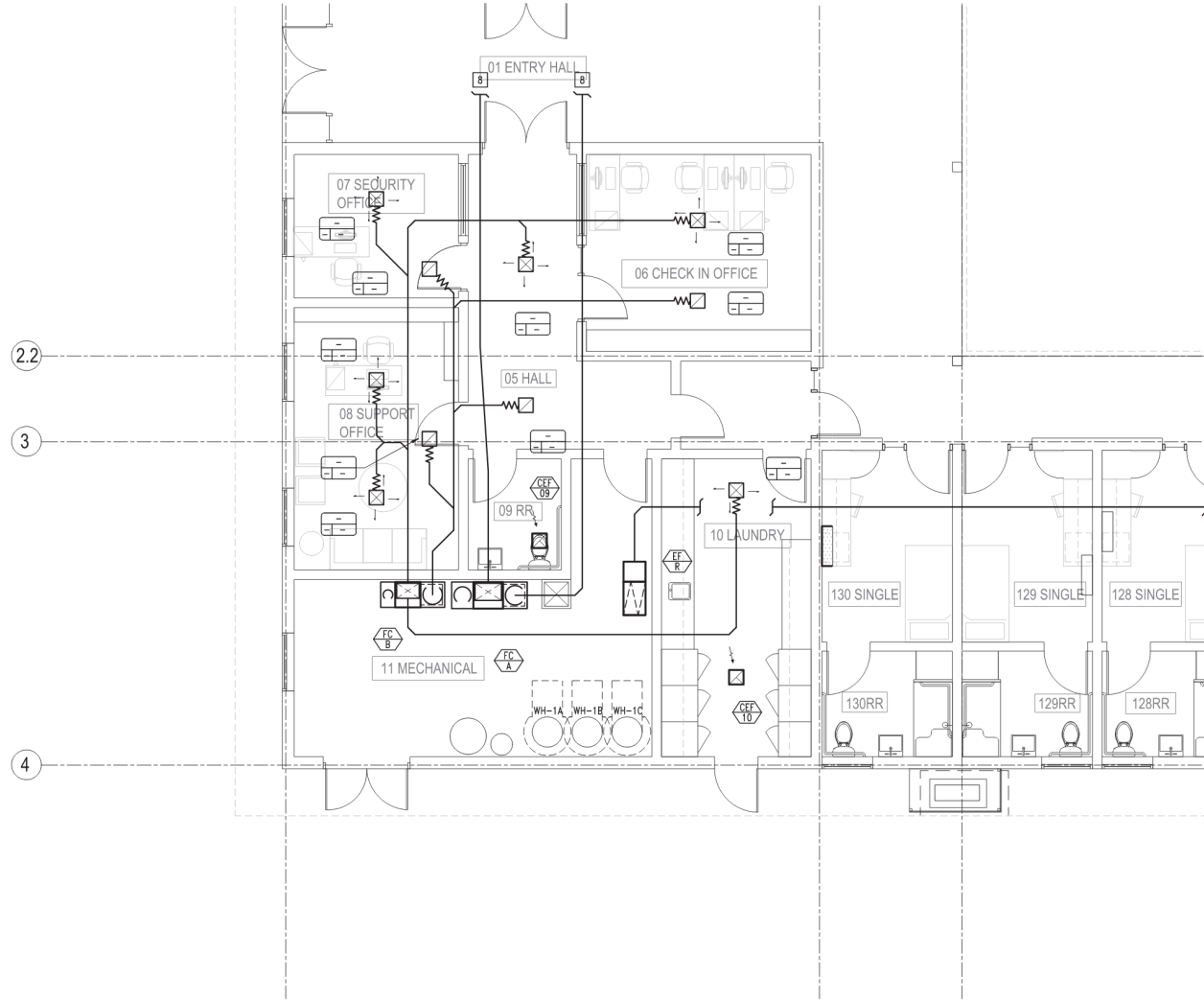
Public Works Yard, Montgomery St  
Ojai, CA 93023

REVISIONS	
#	DESCRIPTION
JOB NUMBER: DJA-2501	
DATE: 07/24/2025	

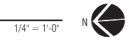
ENLARGED  
MECHANICAL  
FLOOR PLAN

M2.2

30 September 2025. Drawings and Materials included in this presentation are works-in-progress and intended for discussion purposes only not for bidding, permitting or construction.



1 ENLARGED MECHANICAL FLOOR PLAN



KEYNOTES

- 1 ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. MAINTAIN MINIMUM 3'-0" ABOVE OSA INTAKES WITHIN 10'-0". PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
- 2 4" DRYER VENT. TERMINATE TO EXTERIOR WITH BACKDRAFT DAMPER, MIN 3 FEET FROM PROPERTY LINE AND OPENINGS INTO BUILDING. EXHAUST DUCT FOR DOMESTIC DRYERS SHALL BE 4 INCHES MINIMUM, AND SHALL BE METAL AND HAVE A SMOOTH INTERIOR SURFACE. DUCT SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. IF MAXIMUM LENGTH IS EXCEEDED, PROVIDE DRYER BOOSTER FAN BY ATMOSPHERE, OR EQUAL.
- 3 PROVIDE DRAIN PIPE AND ROUTE FAN COIL CONDENSATE DRAIN TO APPROVED RECEPTOR PER PLUMBING PLAN.
- 4 PROVIDE REFRIGERANT LINE SET. ROUTE TO CORRESPONDING FAN COIL. INSTALL PER MFR'S INSTRUCTIONS.
- 5 CONFORM TO MFR-RECOMMENDED CLEARANCES FOR AIRFLOW AND MAINTENANCE.
- 6 VOLUME BALANCING DAMPERS NOT READILY ACCESSIBLE IN THE ATTIC SHALL BE REMOTE, BATTERY OPERATED TYPE. COORDINATE CONTROL, TERMINATION PANEL LOCATION WITH ARCHITECT, WITH EACH DAMPER LOCATION CLEARLY LABELED. INCLUDE ONE HAND HELD OPERATOR TO BE KEPT ON SITE FOR FUTURE BALANCING NEEDS. MANUFACTURER: METROPOLITAN AIR TECHNOLOGY, WWW.METAIRTECH.COM.
- 7 PROVIDE SHIELDED COMMUNICATIONS WIRING FOR ALL EQUIPMENT IN THE VICINITY OF ELECTRICAL EQUIPMENT OR DEVICES.
- 8 SEE SHEET M2.2 FOR CONTINUATION.
- 9 MAIN RESIDENTIAL SUPPLY VENTILATION DUCT. CONTINUATION, SEE OVERALL MECHANICAL FLOOR PLAN, SHEET M2.1.

EST. 1995



OJAI PERMANENT  
SUPPORTIVE HOUSING  
Public Works Yard, Montgomery St  
Ojai, CA 93023

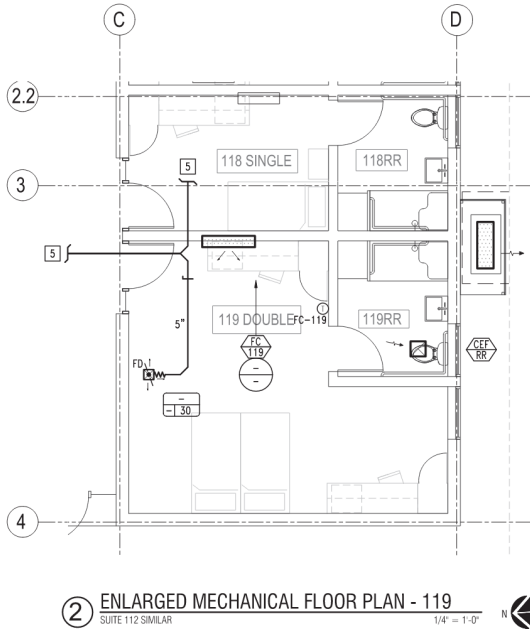
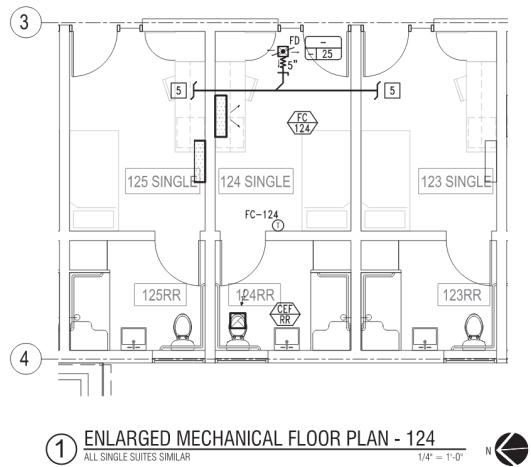
REVISIONS	
#	DATE DESCRIPTION
JOB NUMBER: DJA-2501	
DATE: 07/24/2025	

ENLARGED  
MECHANICAL  
FLOOR PLAN

M2.3

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- KEYNOTES
- 1

ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
- 2

PROVIDE DRAIN PIPE AND ROUTE FAN COIL CONDENSATE DRAIN TO APPROVED RECEPTOR PER PLUMBING PLAN.
- 3

VOLUME BALANCING DAMPERS NOT READILY ACCESSIBLE IN THE ATTIC SHALL BE REMOTE, BATTERY OPERATED TYPE. COORDINATE CONTROL TERMINATION PANEL LOCATION WITH ARCHITECT, WITH EACH DAMPER LOCATION CLEARLY LABELED. INCLUDE ONE HAND HELD OPERATOR TO BE KEPT ON SITE FOR FUTURE BALANCING NEEDS. MANUFACTURER: METROPOLITAN AIR TECHNOLOGY, WWW.METAIRTECH.COM.
- 4

PROVIDE SHIELDED COMMUNICATIONS WIRING FOR ALL EQUIPMENT IN THE VICINITY OF ELECTRICAL EQUIPMENT OR DEVICES.
- 5

MAIN RESIDENTIAL SUPPLY VENTILATION DUCT CONTINUATION, SEE OVERALL MECHANICAL FLOOR PLAN, SHEET M2.1.

EST. 1995

MECHANICAL ENGINEERING CONSULTANTS INC.

315 E Canon Perdido, Ste B  
Santa Barbara, CA 93101  
Tel (805) 957-4632

REGISTERED ENGINEER  
M 25658  
STATE OF CALIFORNIA

OJAI PERMANENT  
SUPPORTIVE HOUSING  
Public Works Yard, Montgomery St  
Ojai, CA 93023

REVISIONS

#	DATE	DESCRIPTION

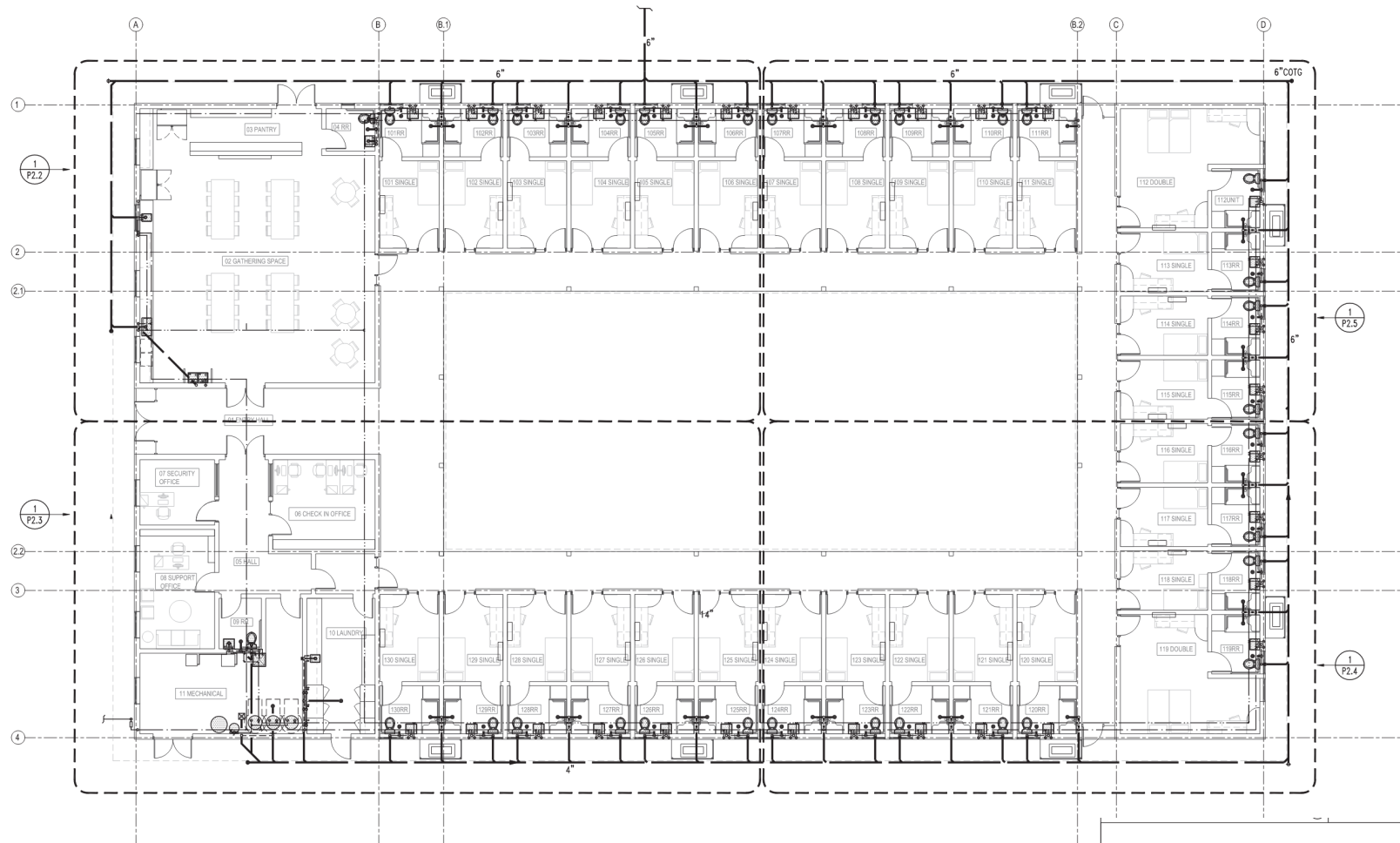
JOB NUMBER: DJA-2501

DATE: 07/24/2025

ENLARGED MECHANICAL FLOOR PLANS

M2.4

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OVERALL PLUMBING FLOOR PLAN

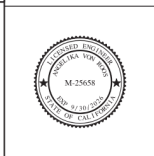


- KEYNOTES**
- 1 SEE CIVIL SITE UTILITY PLAN FOR CONTINUATION.
  - 2 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
  - 3 ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE, COORDINATE PIPING LOCATIONS RELATIVE TO BUILDING FOOTINGS WITH SEOR.
  - 4 PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.
  - 5 PROVIDE HEAT TAPE ON DOMESTIC HOT WATER DISTRIBUTION PIPING...

**EST. 1995**

**MECHANICAL ENGINEERING CONSULTANTS INC.**

315 E Canon Perido, Ste B  
Santa Barbara, CA 93101  
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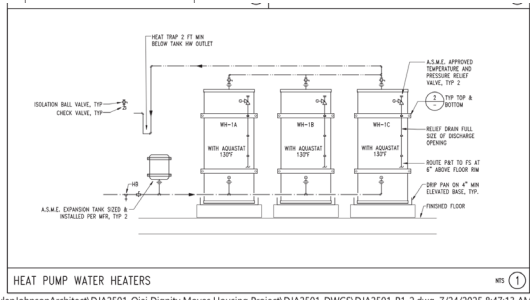
**OJAI PERMANENT SUPPORTIVE HOUSING**

Public Works Yard, Montgomery St  
Ojai, CA 93023

REVISIONS	
#	DESCRIPTION
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DATE: 07/24/2025	

OVERALL PLUMBING FLOOR PLAN

**P2.1**









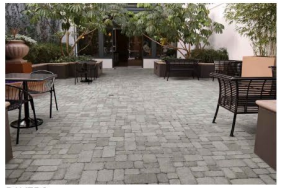
- 1 CENTRAL COURTYARD
- 2 CENTRAL SHADE TREE, NON-FRUITING OLIVE
- 3 OUTDOOR DINING, ADA ACCESSIBLE
- 4 COMMUNITY GARDENING: RAISED PLANTERS, SMOOTH PLASTER FINISH TO MATCH BUILDING, 18" HT
- 5 OUTDOOR SEATING W/ MOVEABLE CHAIRS
- 6 PERENNIAL HERB BEDS
- 7 PAVERS
- 8 FIESTA STRING LIGHTS, DARK SKY FRIENDLY
- 9 LAWN
- 10 LOW GROUNDcover BORDER
- 11 18" HT RAISED PLANTER/CASUAL SEATING W/ DWARF CITRUS TREE



CLOISTER GARDEN MISSION SAN LUIS REY



CLOISTER MUSEUM GARDEN



PAVERS  
COLOR: TERRA COTTA  
FINISH: TUMBLED



TERRA COTTA PAVERS WITH  
BRUSHED SAND JOINTS



FIESTA STRING LIGHTS W/ SHADE



DWARF CITRUS TREE



RAISED EDIBLE BEDS

INSPIRATION IMAGERY



COURTYARD OLIVE



PROGRESS PRINT, NOT FOR CONSTRUCTION

REVISIONS	
NAME	DATE
DRP SUBMITTAL	02/04/25
DRP SUBMITTAL	03/14/25

PHASE  
CONCEPT  
REVIEW

JOB NUMBER: 25-01DM  
ORIGIN DATE: 01.03.25  
PLOT DATE: 09.30.25  
DRAWN BY: AS  
CHECKED BY: KN

SHEET 2 OF 4  
L-2

LANDSCAPE  
CONCEPT -  
COURTYARD

OJAI PERMANENT SUPPORTIVE HOUSING  
PUBLIC WORKS YARD  
MONTGOMERY ST., OJAI, CA. 93023  
APN # 023-0-120-020



STUDIO LANDSCAPE CORPORATION  
KATHLEEN NOLAN, PLA, ASLA  
340 Avenida de la Vereda  
Ojai, CA 93023  
tel: 805.646.8364  
email: kn@studio-landscape.com  
www.studio-landscape.com



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LANDSCAPE PLANT IMAGERY

COURTYARD PLANTING



OLEA EUROPAEA 'SWAN HILL' /  
SWAN HILL FRUITLESS OLIVE



DWARF CITRUS

ZONE 1



DIPLOACUS AURANTIACUS 'JELLY  
BEAN ORANGE' / 'JELLY BEAN  
ORANGE MONKEYFLOWER

ZONE 2



ZAUSCHNERIA CALIFORNICA /  
CALIFORNIA FUCHSIA



SALVIA X 'BEE'S BLISS' /  
BEE'S BLISS SAGE



CEANOOTHUS G. HORIZONTALIS /  
CEANOOTHUS

BIOSWALE/RAINGARDEN



ACHILLEA MILLEFOLIUM /  
COMMON YARROW



ARTEMISIA DOUGLASIANA / MUGWORT



ELYMUS TRITICOIDES /  
CREEPING WILD RYE



JUNCUS TEXTILIS / BASKET RUSH



STACHYS BULLATA / HEDGE NETTLE

SCREENING SHRUBS



FRANGULA CALIFORNICA /  
COFFEEBERRY



HETEROMELES ARBUTIFOLIA / TOYON



PRUNUS ILICIFOLIA / HOLLYLEAF  
CHERRY

LANDSCAPE MATERIALS & IMAGERY

LIGHTING



MFG: LIGHTCRAFT  
MODEL: PETAL SHADE



MFG: SPJ  
MODEL: STEP LIGHT

STUDIO LANDSCAPE CORPORATION  
KATHLEEN NOLAN, P.L.A., ASLA  
340 Avenida de la Ventura  
Ojai, CA 93023  
tel: 805.646.8384  
email: kn@studio-landscape.com  
www.studio-landscape.com



OJAI PERMANENT SUPPORTIVE HOUSING  
PUBLIC WORKS YARD  
MONTGOMERY ST., OJAI, CA. 93023  
APN # 023-0-120-020

LANDSCAPE  
MATERIALS &  
IMAGERY

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DRAWN BY:	AS
CHECKED BY:	KN
SHEET	3 OF 4

L-3

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SUSTAINABLE SITE DESIGN  
OVERALL SUSTAINABILITY MEASURES

**SITE DESIGN: Resiliency through a whole systems approach**

- Protect existing oaks
- Sensitive siting of structures and materials
- Minimal grading
- Stormwater capture (bioswales & raingardens)

**WATER, SOIL + CLIMATE: Regenerative design strategies**

- Minimize albedo/heat island affect (shade trees, structures + materials)
- Climate appropriate plant material to minimize water use & maintenance
- Smart irrigation controller and water efficient system
- Build soil sponge/soil water holding capacity in planted areas
- Apply mulch in open areas for soil protection, weed suppression & H2O retention

**HABITAT: Building native plant communities**

- Protect existing oaks
- California native plant species
- Pollinator plants to support friendly wildlife

**FIRE SMART LANDSCAPING: Selection, placement + maintenance**

- Zoning & defensible space design
- Fire resistant materials
- Fire wise plant selection, placement & spacing
- Vegetation management

**MATERIALS + ENERGY: Efficient design systems**

- Permeable surfaces (bark mulch, bare/natural soil for insect habitat)
- Low voltage LED landscape lighting

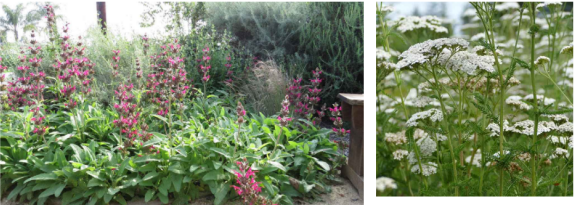
**COMMUNITY + CIRCULATION: Valuing natural features of site**

- Community gardening w/ edible beds + fruit trees
- Small + large gathering areas
- Shared bike racks
- Connection to street, services, amenities and transportation
- Site wide ADA accessible paths

BIOSWALE AND RAINGARDENS



NATIVE SPECIES, POLLINATOR PLANTS & CLIMATE APPROPRIATE



SITE DESIGN



ACCESSIBLE PATHS



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**SUSTAINABILITY MEASURES**

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SHEET	4 OF 4

**L-4**

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An aerial photograph of a town nestled in a valley. In the background, there are large, green, rolling mountains under a clear blue sky. The town itself is surrounded by dense green trees. Several buildings with red-tiled roofs are visible, including a large central building and several smaller ones. There are parking lots with cars, a green tennis court in the lower left, and a winding road on the left side. A semi-transparent dark band across the middle of the image contains the text.

# *Q & A and City Council Discussion*