

The image is a wide-angle aerial photograph of the Ojai valley. In the foreground, there are several buildings with red-tiled roofs, including a large white building with a red roof and a smaller building with a red roof. There is also a green tennis court and a parking lot. The middle ground shows a dense forest of green trees. In the background, there are rolling green hills and mountains under a clear blue sky.

# Ojai Permanent Supportive Housing

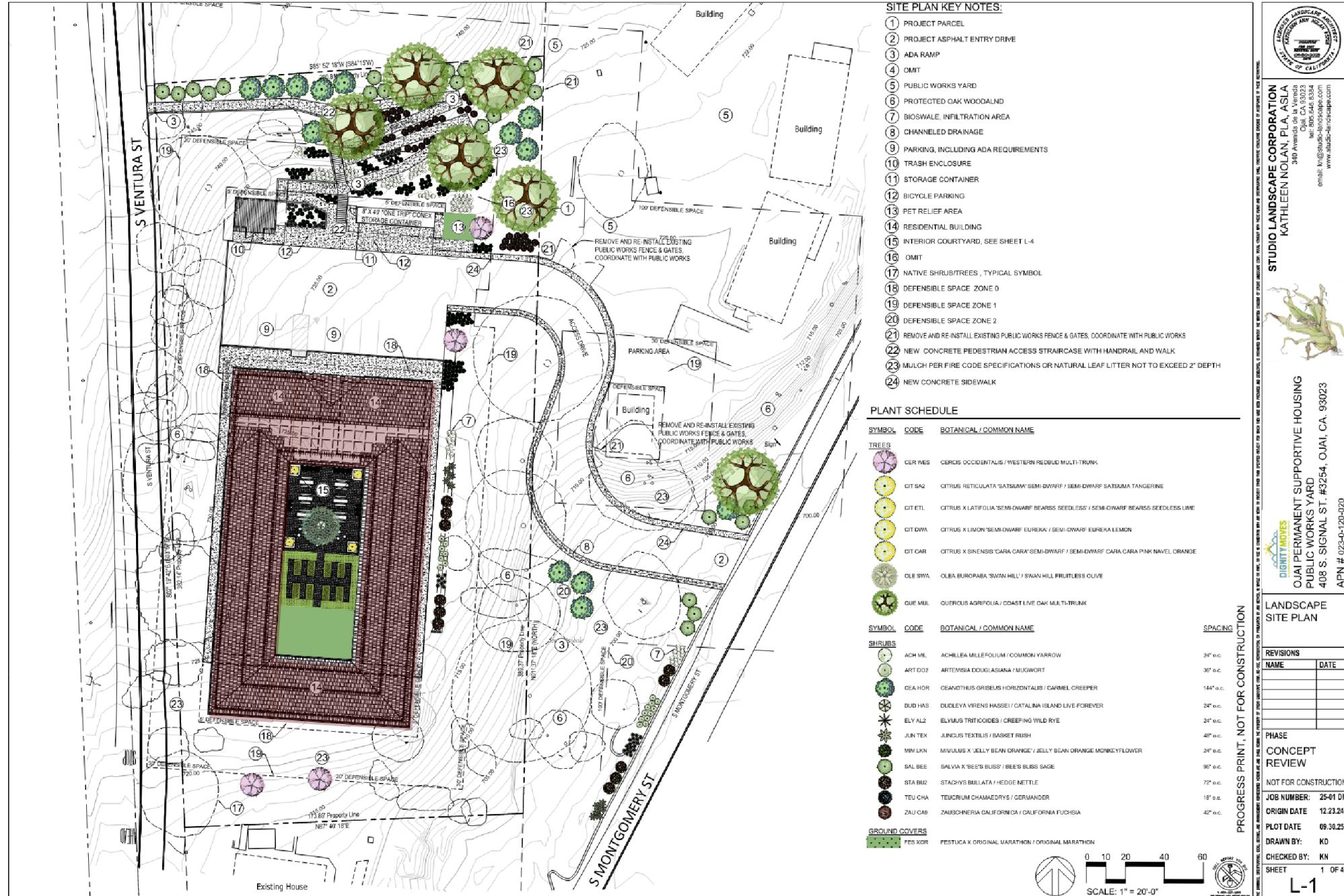
City Council Workshop | 30 September 2025

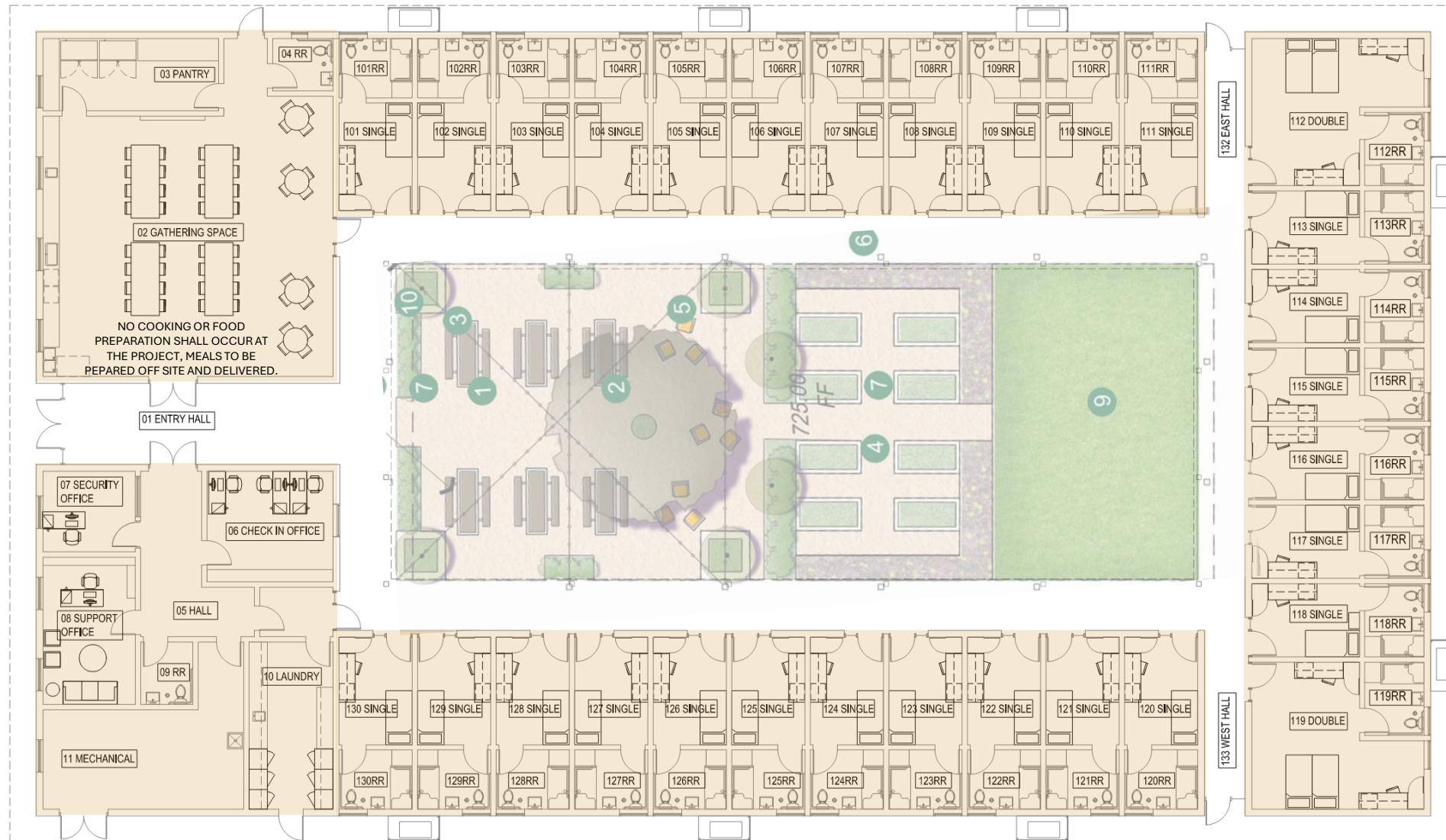
# Project Objectives

In alignment with the goals of the City Council, Dignity Moves and the design team are tasked with delivering the project according to the following program & priorities:

1. Deliver supportive housing solutions for residents of Ojai Tent Town in the form of 30 single room occupancy (SRO) units, along with a community gathering space, laundry room and three offices for administrative and support services.
2. Employ fire resistant construction systems to increase safety and community resilience.
3. Promote climate resiliency through sustainable, low-carbon design and construction.







FURNITURE PLAN GENERAL NOTES:

1. FURNITURE PLAN SHOWN FOR REFERENCE ONLY. ITEMS SHOWN HERE AND NOT ON A2.1 SHALL BE PROVIDED BY THE OWNER AND SHALL NOT BE INCLUDED IN THE CONTRACT FOR CONSTRUCTION.

30 September 2025. Drawings and Materials included in this presentation are works-in-progress and intended for discussion purposes only not for bidding, permitting or construction.

## Ojai Permanent Supportive Housing

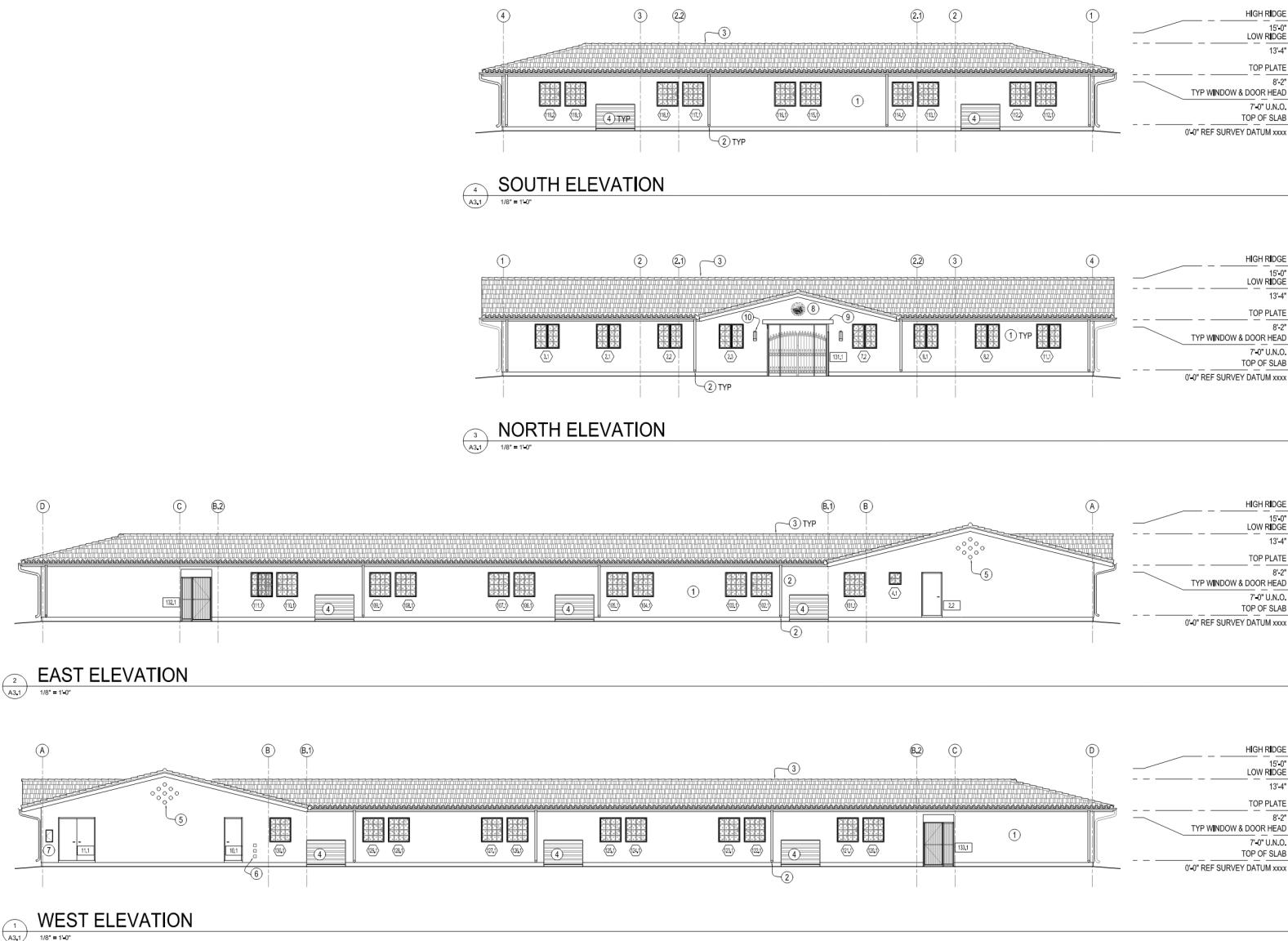
611 South Montgomery Street, Ojai California

Drawn By: DJ  
 Checked By: \_\_\_\_\_  
 Job No.: 2407  
 Revisions: \_\_\_\_\_  
 No. Date By \_\_\_\_\_

NOT FOR CONSTRUCTION  
 17 OCT 2025

90% PERMIT SET

Exterior  
 Elevations  
**A3.1**



### ELEVATION KEY NOTES

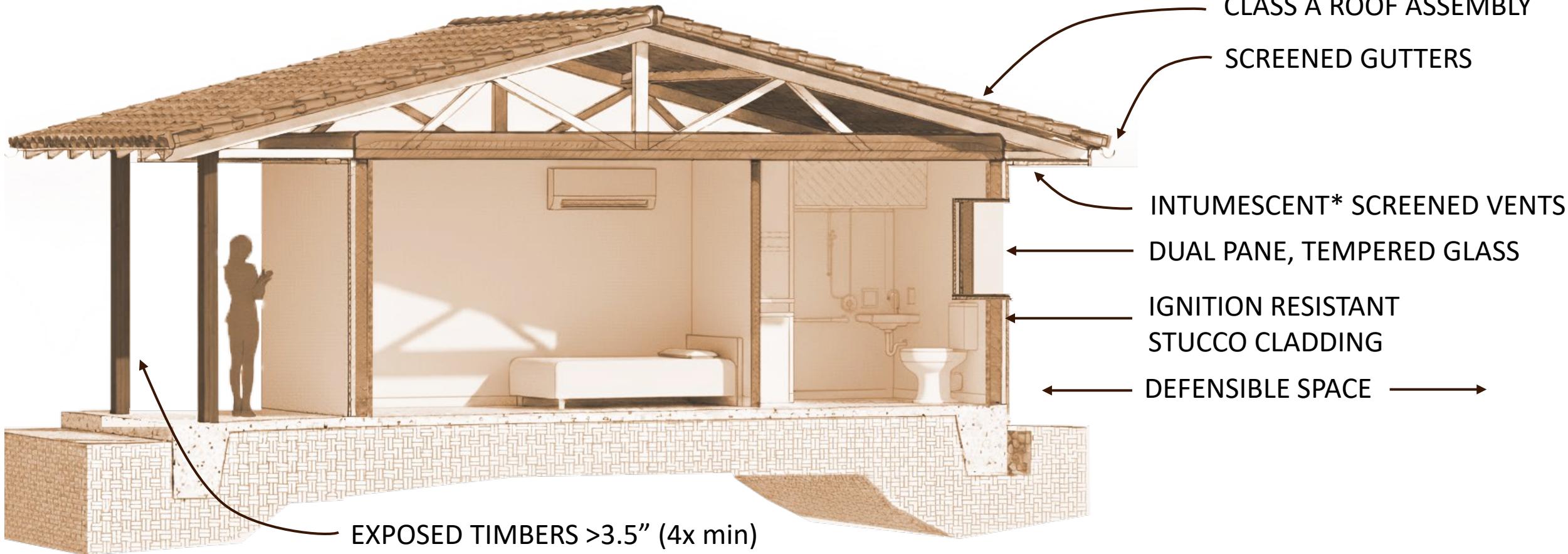
- (1) STUCCO, SEE A3.0
- (2) GUTTER AND DOWNSPOUT
- (3) ROOFING, SEE A3.0
- (4) NON-COMBUSTIBLE HVAC SCREEN, SEE XX/A8,XX
- (5) INTUMESCENT GABLE VENT BEHIND 6" TERRACOTTA VENTS AT STUCCO, SEE XX/A8,XX
- (6) DRYER VENT, FOI
- (7) ELECTRIC METER, SEE ELECTRICAL DRAWINGS
- (8) ENTRY SIGN, FOI
- (9) TIMBER HEADER, SEE XX/A8,XX
- (10) WALL SCONCE, SEE A6.1

### ELEVATION GENERAL NOTES:

1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
3. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.

## WILDFIRE RESISTANCE

The project is in CalFire's Very High Fire Severity Zone; the building must comply with Wildland-Urban-Interface code.



TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE

\*INTUMESCENT VENTS ARE HEAT-ACTIVATED, UPON CONTACT WITH EMBERS SCREENS FOAM AND SEAL VENT OPENINGS.

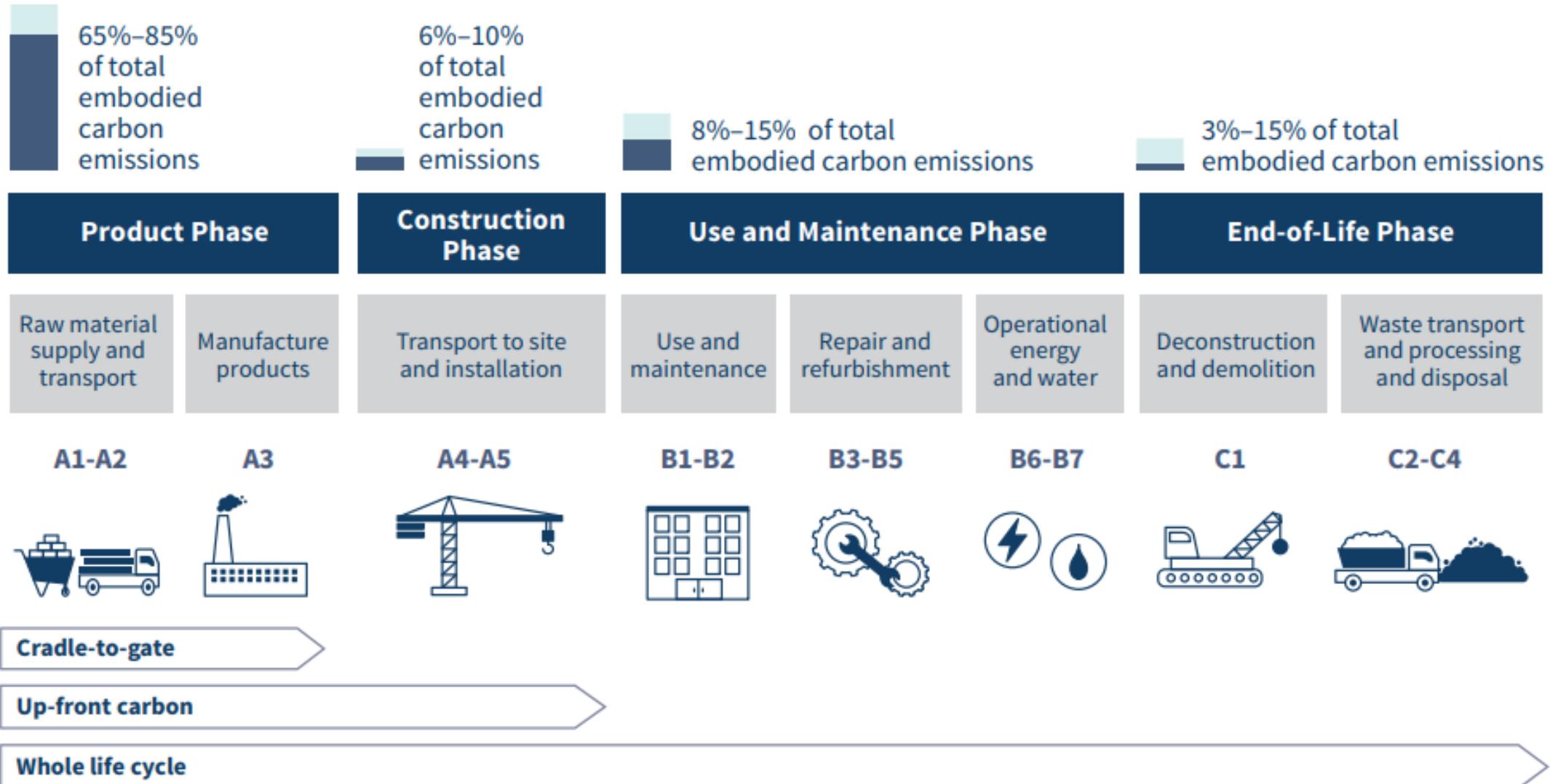
## CLIMATE IMPACTS OF A BUILDING's LIFE CYCLE



### What Is Embodied Carbon?

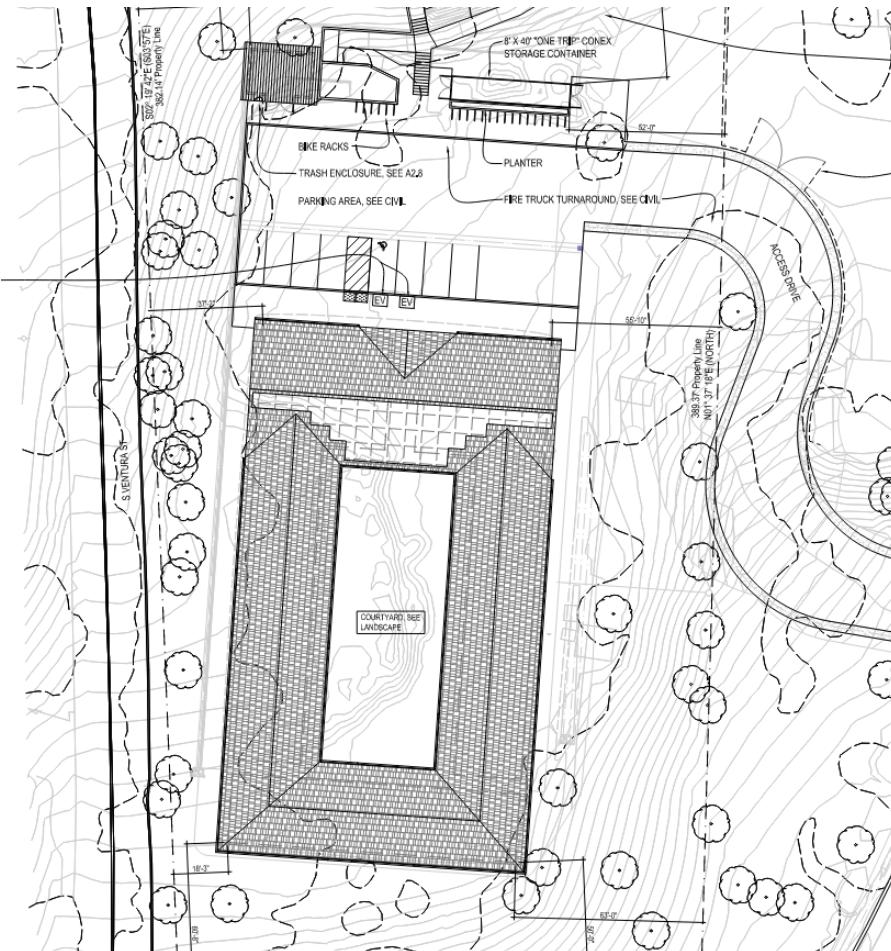
Embodied carbon is the sum of all greenhouse gas emissions released during the lifecycle of materials, including extraction, manufacturing, transport, construction, and disposal. Embodied carbon emissions from buildings account for 11 percent of annual climate-warming GHG emissions globally.

# CLIMATE IMPACTS OF A BUILDING's LIFE CYCLE



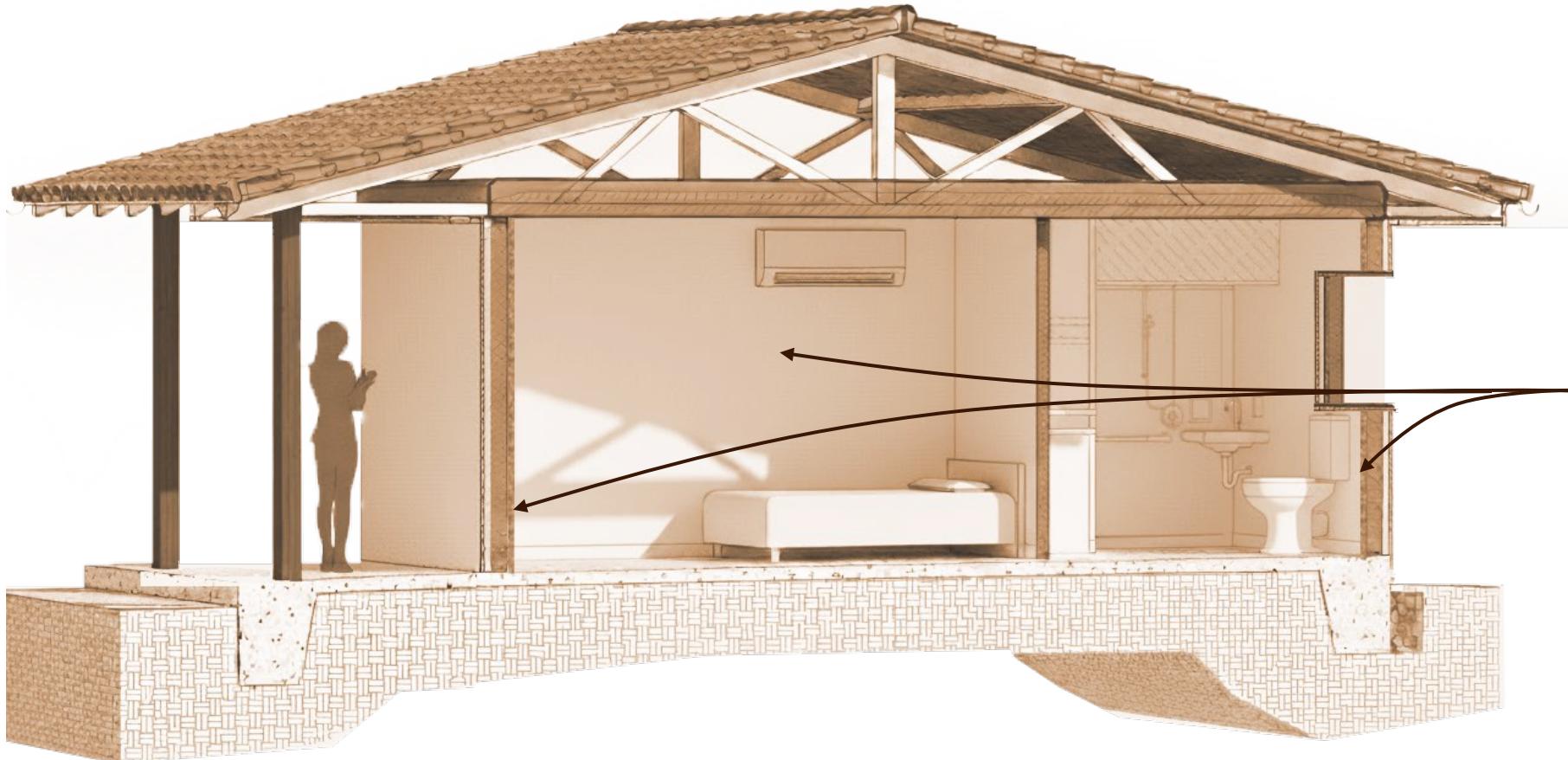
## OPERATIONAL CARBON HIGHLIGHTS

- 100% electric, no gas meter installed.
- High efficiency heat pump HVAC
- High efficiency heat pump hot water
- PV Solar at South Facing Roof
- LED Lighting
- Occupancy Sensors
- Large Overhangs and Well Insulated Envelope; Minimal Solar Heat Gain
- Natural Ventilation
- EV Charging



## COMPRESSED STRAW PANELS (CSP)

- 50mm CSP wall paneling
- CSP Ceilings optional bid alternate

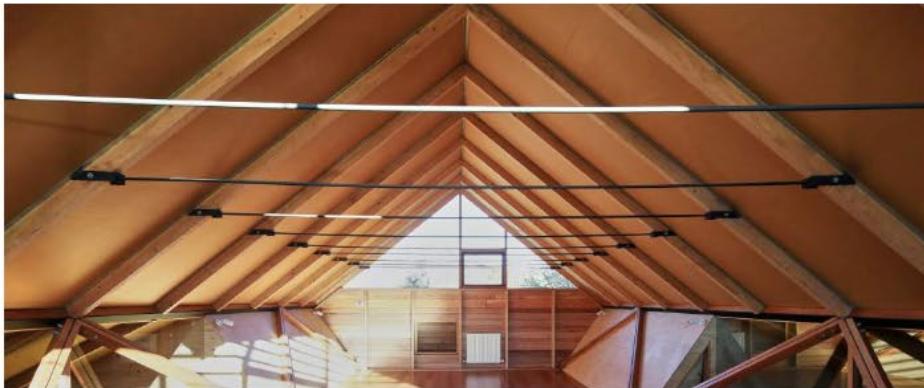


TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE

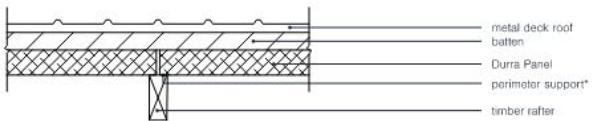


# COMPRESSED STRAW PANELS

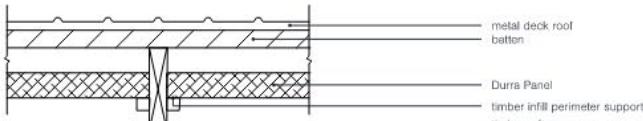
## Wall and ceiling assemblies



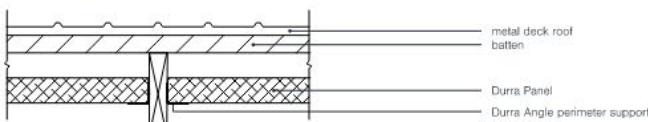
### Top Side Rafter



### Infill Rafter with Timber



### Infill Rafter with Angle



\*Durra Panel requires a minimum of 25mm perimeter support.



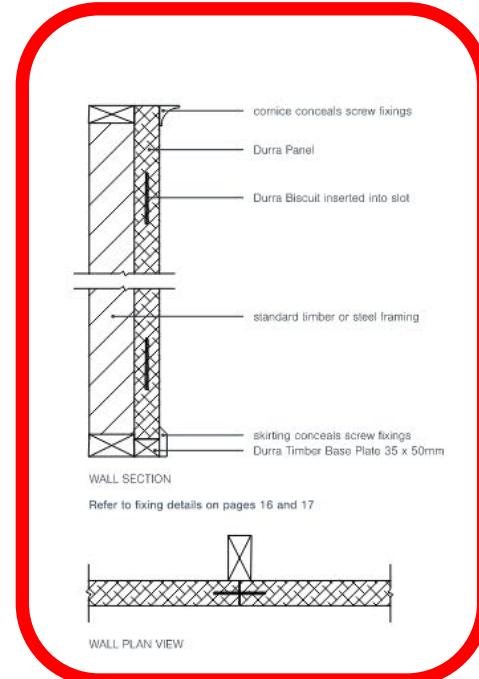
### Installation



With Durra Biscuit Connectors in place, lift the Durra Panel onto the Durra Base Plate.

Push Durra Panel to slot the Durra Biscuit Connectors and close the gap between the two panels.

Screw fix Durra Panel back to frame at top and bottom.



# COMPRESSED STRAW PANELS

## Sample projects, civic, commercial & residential

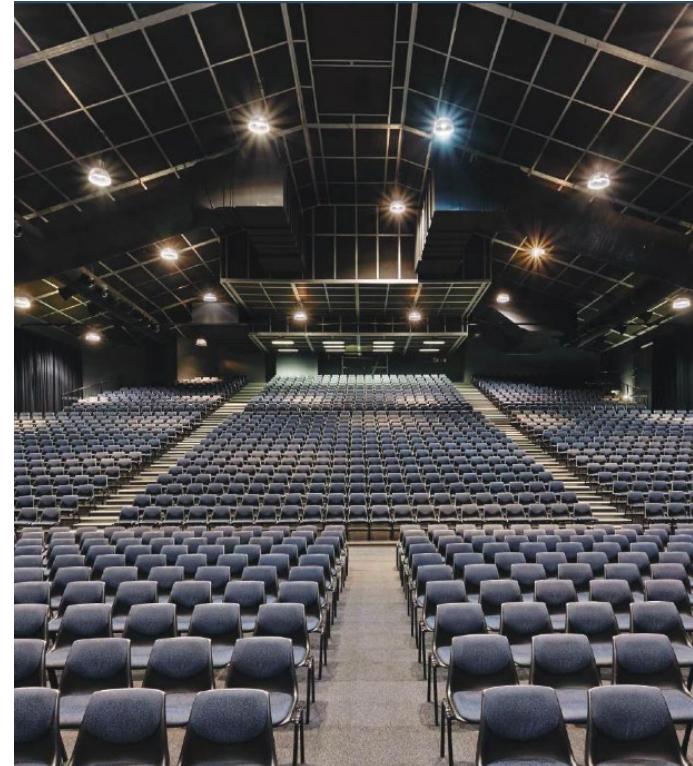
### School Buildings

### Performing Arts Centres

### Sports Stadiums

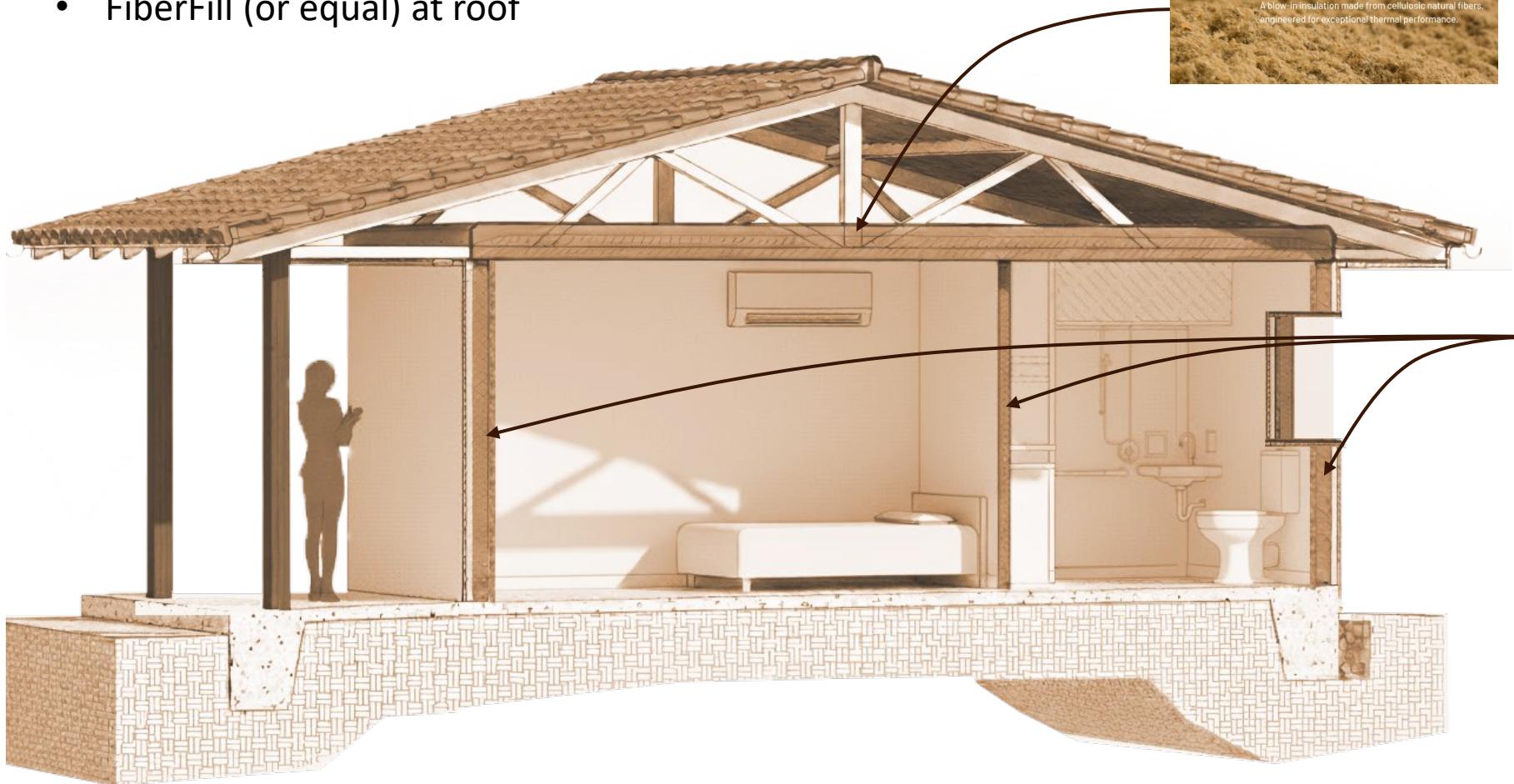
Dura Panel roof, ceiling and wall systems are ideal for use in school buildings, performing art centres, trade training facilities, and sports halls. Dura Panel combines the desirable properties of strength, thermal and sound insulation together with a high degree of fire resistance. There are a large range of factory applied finishes available to suit individual project needs.

Dura Panel building systems are safe, fast and economical to install with significant design flexibility in a wide range of applications as illustrated on this reference page.



## HEMP THERMAL & ACOUSTIC INSULATION

- HempWool (or equal) at walls
- FiberFill (or equal) at roof

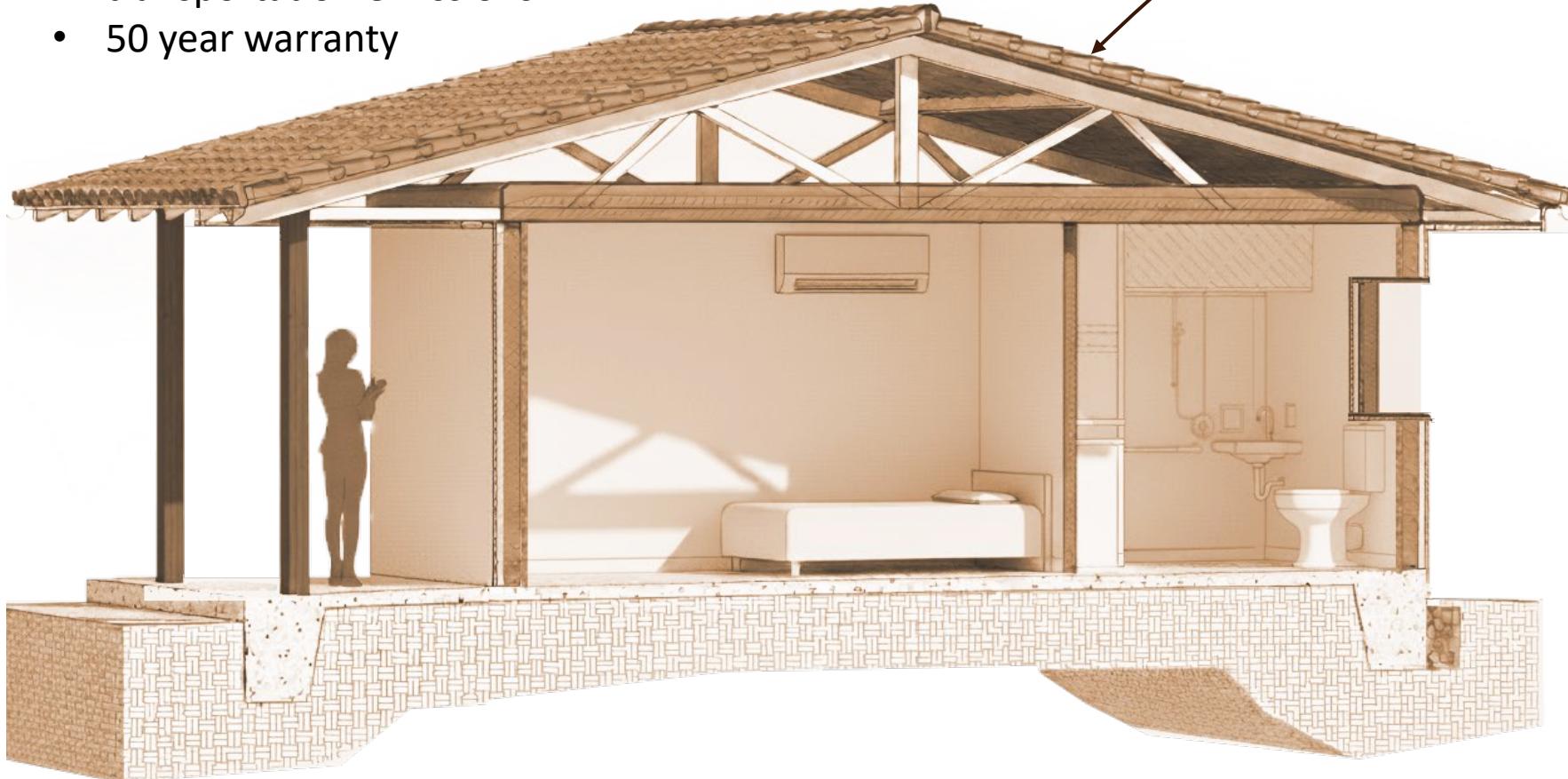


TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE



## RECYCLED (& RECYCLABLE) COMPOSITE ROOFING

- Brava (or equal) Spanish barrel tile, Aged Mission color proposed
- Class A Fire Rating, made from recycled materials
- Lightweight, reducing structural demands & transportation emissions.
- 50 year warranty

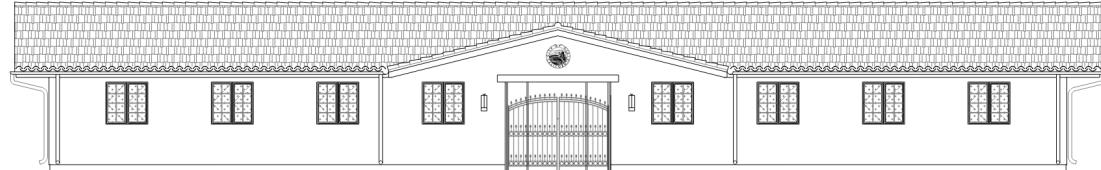


TYPICAL DIGRAMATIC SECTION THROUGH SRO UNIT, NOT TO SCALE



# OJAI PERMANENT SUPPORTIVE HOUSING

30 SEPT 2025 DRAWINGS INCLUDED IN THIS PRESENTATION ARE WORKS-IN- PROGRESS AND INTENDED FOR DISCUSSION PURPOSES ONLY NOT FOR BIDDING, PERMITTING OR CONSTRUCTION.



NORTH ELEVATION

GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION		GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION (CONT.)		GENERAL NOTES		PROJECT DATA		CONTACT LIST		SHEET INDEX		SHEET INDEX (CONT.)	
1. FOR STORM WATER AND DRAINAGE CONSERVATION MEASURES AND PLANS, SEE CITY OWNED PROPERTY GREEN BUILDING STANDARDS CODE SHEET A0.4.		15. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ACTIVITIES TRADING MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.		1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR REFERENCE AND NOT FOR CONSTRUCTION. THE CONTRACTOR FOR THE PROJECT SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.		PROJECT: OJAI PERMANENT SUPPORTIVE HOUSING 611 SOUTH MONTGOMERY STREET, OJAI, CA, 93023 APN: 023-0-120-020	OWNER/APPLICANT: CITY OF OJAI BEN HARVEY CITY MANAGER BEN.HARVEY@OJALCA.GOV	LOT SIZE: 1.74 ACRES ■ 75,794 SF CONSTRUCTION TYPE: V-B	DEVELOPER: DIGNITY MOVES MAUREEN COOPER, P.E. VP OF INNOVATION DESIGN MAUREEN@DIGNITYMOVES.ORG 415.246.3570	T1: TITLE SHEET C1UL: 1. GRADING PLAN COVER SHEET 2. GRADING 3. GRADING 4. GRADING 5. GRADING 6. COMPOSITE UTILITY PLAN 7. HORIZONTAL CONTROL PLAN 8. EROSION CONTROL PLAN COVER SHEET 9. EROSION CONTROL PLAN	STRUCTURAL: S1.1: GENERAL STRUCTURAL NOTES S1.2: GENERAL STRUCTURAL NOTES		
2. FOR ENERGY EFFICIENCY STANDARDS, SEE ENERGY CALCULATIONS AND MANDATORY MEASURES FOR GREEN BUILDING STANDARDS CODE SHEET A0.4.		16. ANY SLOPES WITH DISTURBED SOILS OR SURFACES OF EROSION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.		2. SEARCH FOR ADDITIONAL INFORMATION.		OCCUPANCY: B, A, R-2 S.O.A.R.: NO COASTAL ZONE: NO FLOOD ZONE: NO HIGH FIRE ZONE: YES - VERY HIGH FIRE HAZARD SEVERITY ZONE PARKING: REQUIRED COVERED PARKING = 0 REQUIRED UNCOVERED PARKING = 0 PARKING PROVIDED = 0 PROJECT AUTHORIZED UNDER CITY COUNCIL RESOLUTION 25-19	ARCHITECT: DJA ARCHITECTS, PLLC DYLAN JOHNSON, AIA DYLAN@DJARCHITECTS.COM 206.459.7027	LANDSCAPE: L1: SITE SHEET L2: EXISTING CONDITIONS PLAN L3: LANDSCAPE SITE PLAN L4: LANDSCAPE DESIGN PLAN L5: IRRIGATION CONCEPT PLAN L6: IRRIGATION DETAILS L7: LANDSCAPE MATERIALS & IMAGERY L8: LANDSCAPE LIGHTING PLAN L9: LIGHTING SPEC. SHEETS L10: TREE PROTECTION PLAN L11: TREE PROTECTION PLAN L12: TREE PROTECTION PLAN					
3. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR PLUMBING FIXTURES, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		17. PROVIDE OPERATION AND MAINTENANCE MANUAL FOR OWNER, AS PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		3. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		ARCHITECTURAL: A1: ABBREVIATIONS, NOTES & LEGENDS A2: LIFE SAFETY PLAN A3: GENERAL CODE NOTES A4: CAL GREEN CODE NOTES A5: CAL GREEN CODE NOTES A6: MECHANICAL ENGINEERING NOTES & DETAILS A7: ACCESSIBILITY CODES & DETAILS A8: ARCHITECTURAL SITE PLAN A9: FLOOR PLANS A10: FURNITURE PLAN A11: ROOF PLAN A12: ENLARGED ROOF PLANS & INT ELEVS A13: ENLARGED FLOOR PLANS & INT ELEVS A14: ENLARGED RESTROOM PLANS & INT ELEVS A15: NOT USED A16: TRASH ENCLOSURE A17: ACCESSIBILITY TYPES A18: WINDOW SCHEDULE & TYPES A19: SCHEDULES A20: ASSEMBLY KEYNOTE LEGEND A21: EXTERIOR ELEVATIONS A22: EXTERIOR ELEVATIONS A23: BUILDING SECTIONS A24: WALL SECTIONS A25: ARCHITECTURAL ELEVATIONS A26: NOT USED A27: INTERIOR ELEVATIONS A28: REFLECTED CEILING PLAN A29: ARCHITECTURAL CEILING PLANS UNITS A30: NOT USED A31: EXTERIOR DETAILS A32: EXTERIOR DETAILS A33: INTERIOR DETAILS	Mechanical: M1.1: ABBREVIATIONS, SYMBOLS & GEN. NOTES M1.2: EQUIP. SCHEDULES & COMPLIANCE NOTES M1.3: EQUIPMENT SCHEDULES & DETAILS M2.1: OVERALL MECHANICAL FLOOR PLAN M2.2: ENLARGED MECHANICAL FLOOR PLAN M2.3: ENLARGED MECHANICAL FLOOR PLAN M2.4: ENLARGED MECHANICAL FLOOR PLANS						
4. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR GREEN BUILDING SYSTEMS, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		18. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		5. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		STRUCTURAL: S1.1: GENERAL STRUCTURAL NOTES S1.2: GENERAL STRUCTURAL NOTES							
6. PROVIDE OPERATION AND MAINTENANCE MANUAL FOR OWNER, AS PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		19. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		6. PROVIDE OPERATION AND MAINTENANCE MANUAL FOR OWNER, AS PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		PLUMBING: P1.1: SYMBOLS, NOTES & SINGLE LINE DIAGRAM P1.2: SPECIFICATIONS & DETAILS P2.1: OVERALL PLUMBING FLOOR PLAN P2.2: ENLARGED PLUMBING FLOOR PLAN P2.3: ENLARGED PLUMBING FLOOR PLAN P2.4: ENLARGED PLUMBING FLOOR PLANS P2.5: ENLARGED PLUMBING FLOOR PLANS							
7. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		20. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		7. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		ELECTRICAL: E1: SYMBOLS, NOTES & SINGLE LINE DIAGRAM E2: ELECTRICAL SITE PLAN E3: ELECTRICAL FLOOR PLAN E4: ELECTRICAL FLOOR PLANS							
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10. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE CONTROLLED AND NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR OTHER MEANS.		23. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		10. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE CONTROLLED AND NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR OTHER MEANS.									
11. SOLVENTS, OILS, AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.		24. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		11. SOLVENTS, OILS, AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.									
12. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS TO BE PROTECTED FROM THE WEATHER. SITE MAY NOT BE WASHED INTO APPROVED STORAGE CONTAINERS.		25. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		12. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS TO BE PROTECTED FROM THE WEATHER. SITE MAY NOT BE WASHED INTO APPROVED STORAGE CONTAINERS.									
13. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER PUBLIC AREA. CONCRETE WASTE MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE.		26. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		13. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER PUBLIC AREA. CONCRETE WASTE MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE.									
14. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTEACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSEL OF SOLID WASTE.		27. FOR MATERIAL CONSERVATION, REUSE AND RECYCLING, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.		14. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTEACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSEL OF SOLID WASTE.									

25.09.30. SHEET INDEX REFLECTS DESIGN DEVELOPMENT SET FOR RFP PART 1. PARTIAL PROGRESS SET PRINTED ENCLOSED.

## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

30 SEPT 2025 DRAWINGS INCLUDED IN THIS PRESENTATION ARE WORKS-IN-PROGRESS AND INTENDED FOR DISCUSSION PURPOSES ONLY NOT FOR BIDDING, PERMITTING OR CONSTRUCTION.

NOT FOR CONSTRUCTION
17 OCT 2025
90% PERMIT SET

Title Sheet  
T1

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ARCHITECTURAL SITE PLAN

A1.1

1' = 20'

FLOOR PLAN KEY NOTES

- ① ACCESS DRIVE
- ② PARKING AREA, SEE CIVIL DRAWINGS
- ③ FIRE TRUCK TURNAROUND, SEE CIVIL DRAWINGS
- ④ COURTYARD, SEE LANDSCAPE DRAWINGS
- ⑤ REMOVE AND REINSTALL EXISTING PUBLIC WORKS YARD FENCE AND GATES, SEE LANDSCAPE DRAWINGS AND COORDINATE ALL PUBLIC WORKS FENCE WORK WITH PUBLIC WORKS DIRECTOR, VERIFY EXTENTS OF REQUIRED FENCE MODIFICATIONS ON-SITE
- ⑥ PROVIDE ② LEVEL-2 EV CHARGERS, SEE ELECTRICAL DRAWINGS, (1) EV CHARGER TO BE ACCESSIBLE, GC TO PROVIDE ELECTRICAL ROUGH-IN, CHARGER TO BE FOO
- ⑦ BIKE RACKS
- ⑧ 8 x 40' "ONE TRIP" CONEX STORAGE CONTAINER, PROVIDE FOOTINGS AND ANCHORAGE AS REQUIRED BY CONTAINER MANUFACTURER
- ⑨ TRASH ENCLOSURE, SEE A2.8
- ⑩ UNFENCED PET RELIEF AREA, SEE LANDSCAPE DRAWINGS
- ⑪ ADA RAMP - SEE CIVIL AND STRUCTURAL DRAWINGS
- ⑫ PROVIDE HANDRAILS AND/OR GUARDRAILS AT BOTH SIDES OF RAMP AND STAIR, SEE LANDSCAPE DRAWINGS

30 SEPT 2025  
DRAWINGS INCLUDED IN  
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NOT FOR CONSTRUCTION

17 OCT 2025

90% PERMIT SET

Site Plan  
A1.1

SITE PLAN GENERAL NOTES:

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY, SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE WORK REQUIREMENTS.
2. SEE CIVIL FOR SITE DEMOLITION SCOPE.

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## Ojai Permanent Supportive Housing

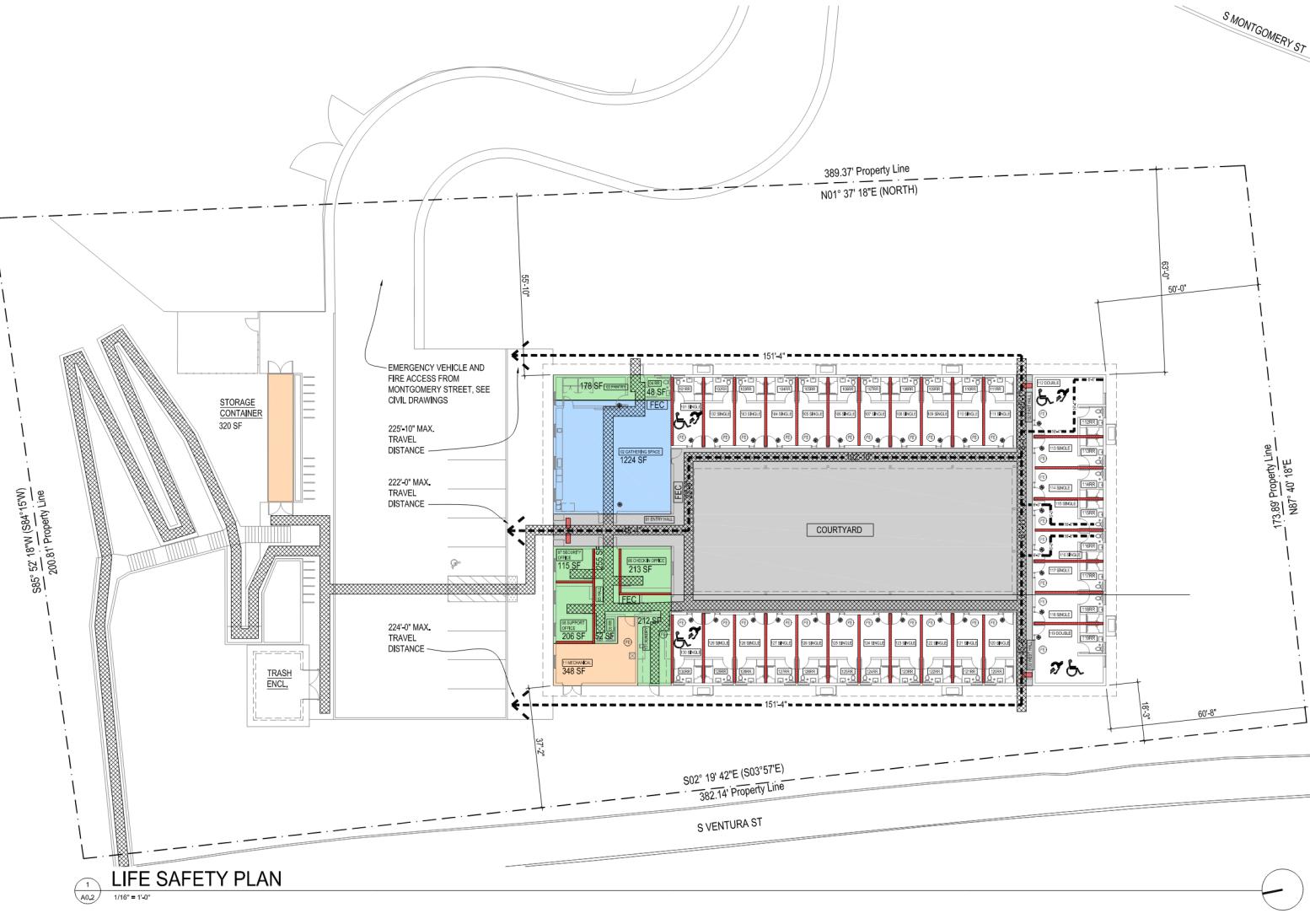
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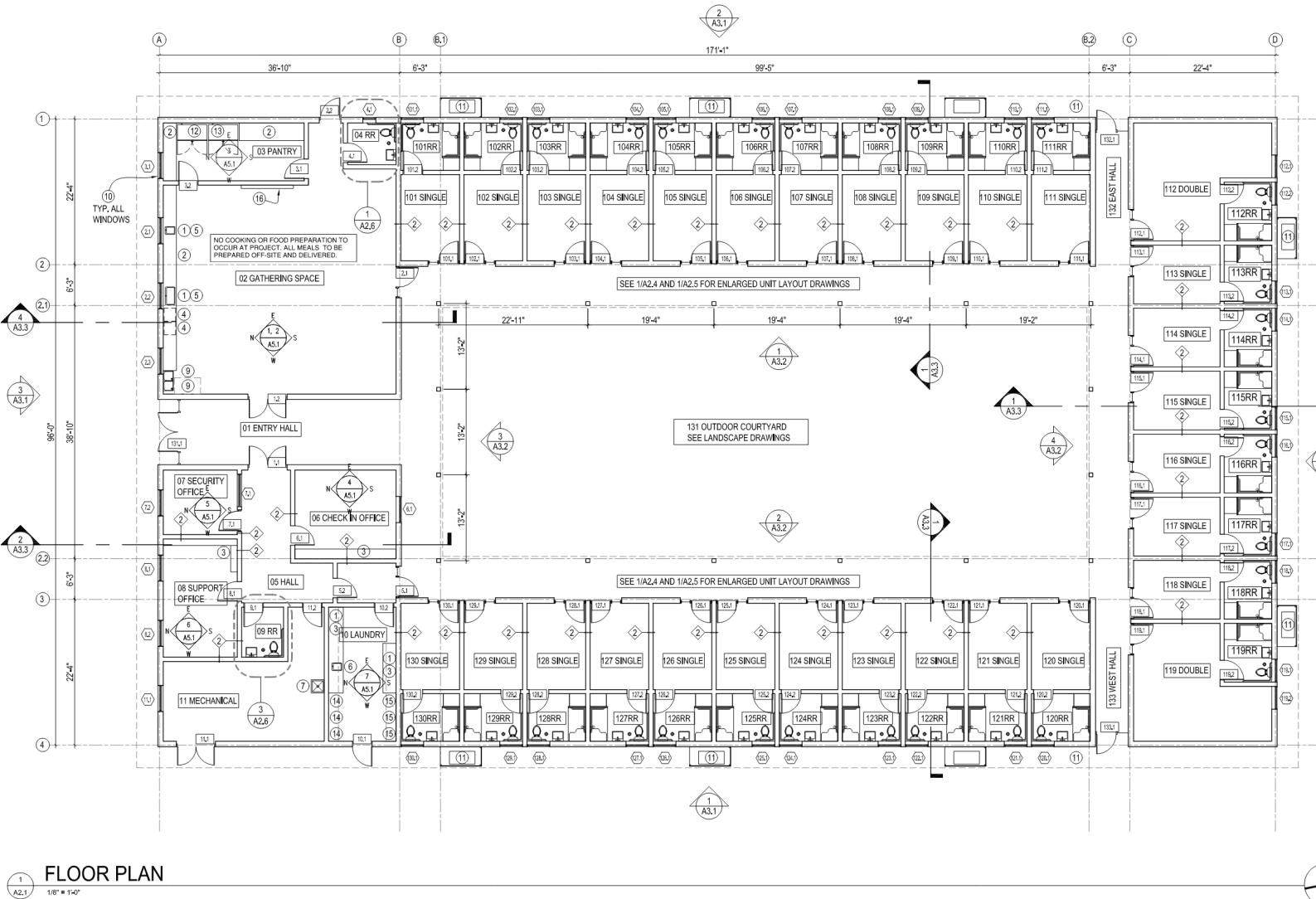
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**Life Safety  
Plan**  
**A0.2**

NOT FOR CONSTRUCTION  
17 OCT 2025  
90% PERMIT SET

CODE SUMMARY:						
APPLICABLE BUILDING CODE 2022 CALIFORNIA BUILDING CODE (CBC)						
2022 CALIFORNIA ELECTRICAL CODE						
2022 CALIFORNIA GREEN BUILDING CODE						
2022 CALIFORNIA PLUMBING CODE						
24 CFR § 902.205 - SRO; HOUSING QUALITY STANDARDS						
CHAPTER 3: OCCUPANCY AND USE THE RESIDENTIAL PORTION OF THE PROJECT FALLS UNDER GROUP R-2 (RESIDENTIAL OCCUPANCY, RESIDENTS STAY MAY EXCEED 30 DAYS, ADMINISTRATIVE AND SUPPORTIVE SERVICES; GROUP B (BUSINESS))						
GATHERING SPACE: GROUP A2 (ASSEMBLY)						
EXTERIOR COURTYARD - OCCUPANCY, PREFUNCTION AREA WITH NO OCCUPANT LOAD						
A LETTER FROM THE CITY OF OJAI WILL CONFIRM THAT FOOD WILL NOT BE PREPARED ON-SITE, AND THREE MEALS PER DAY WILL BE PREPARED OFF SITE AND DELIVERED TO THE GATHERING SPACE FOR THE RESIDENTS.						
24 CFR § 902.205 - SRO; HOUSING QUALITY STANDARDS. USE: SINGLE ROOM OCCUPANCY (SRO) HUD MIN SIZE 110 SF WITH 4 SF OF CLOSET SPACE.						
CHAPTER 4: SPECIAL REQUIREMENTS SECTION 402 REQUIRES 1-HOUR SEPARATION BETWEEN R2 UNITS.						
CHAPTER 5: HEIGHTS AND AREAS CONSTRUCTION TYPE V-B MAXIMUM AREA: TABLE 506 MAXIMUM HEIGHT: 24'-0" SF SPRINKLERED R-2: 1000 SF SPRINKLERED B: 36,000 SF TOTAL PROPOSED BUILDING AREA: 10,286 SF						
CHAPTER 6: TYPES OF CONSTRUCTION FIRE SEPARATION: TABLE 601 AND 602 REQUIRE FIRE RATED EXTERIOR WALLS WITHIN 10' OF PROPERTY LINE. ALL BUILDING WALLS ARE GREATER THAN 10' FROM THE PROPERTY LINE AND THEREFORE NOT REQUIRED TO BE RATED.						
CHAPTER 7A PROJECT TO COMPLY WITH VERY HIGH FIRE SEVERITY REQUIREMENTS. INTUMESCENT ROOF VENTS NON-COMBUSTIBLE STUCCO CLADDING CLAY TILE ROOFING OVER CLASS A MEMBRANE ASSEMBLY						
CHAPTER 10 1017.2 ESTABLISHES EXIT DISTANCE FOR FULLY SPRINKLERED R2 BUILDINGS TO BE 250'. SEE DIAGRAM.						
CHAPTER 11 CBC1104A.1 ALL GROUND FLOOR UNITS WILL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE. CBC 11B-233.3 REQUIRES % OF UNITS TO BE ACCESSIBLE = MINIMUM OF 2 ACCESSIBLE UNITS. AT LEAST ONE UNIT SHALL BE FULLY ACCESSIBLE WITH MOBILITY FEATURES. ALL UNITS PROPOSED TO BE ACCESSIBLE.						





## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

**30 SEPT 2025  
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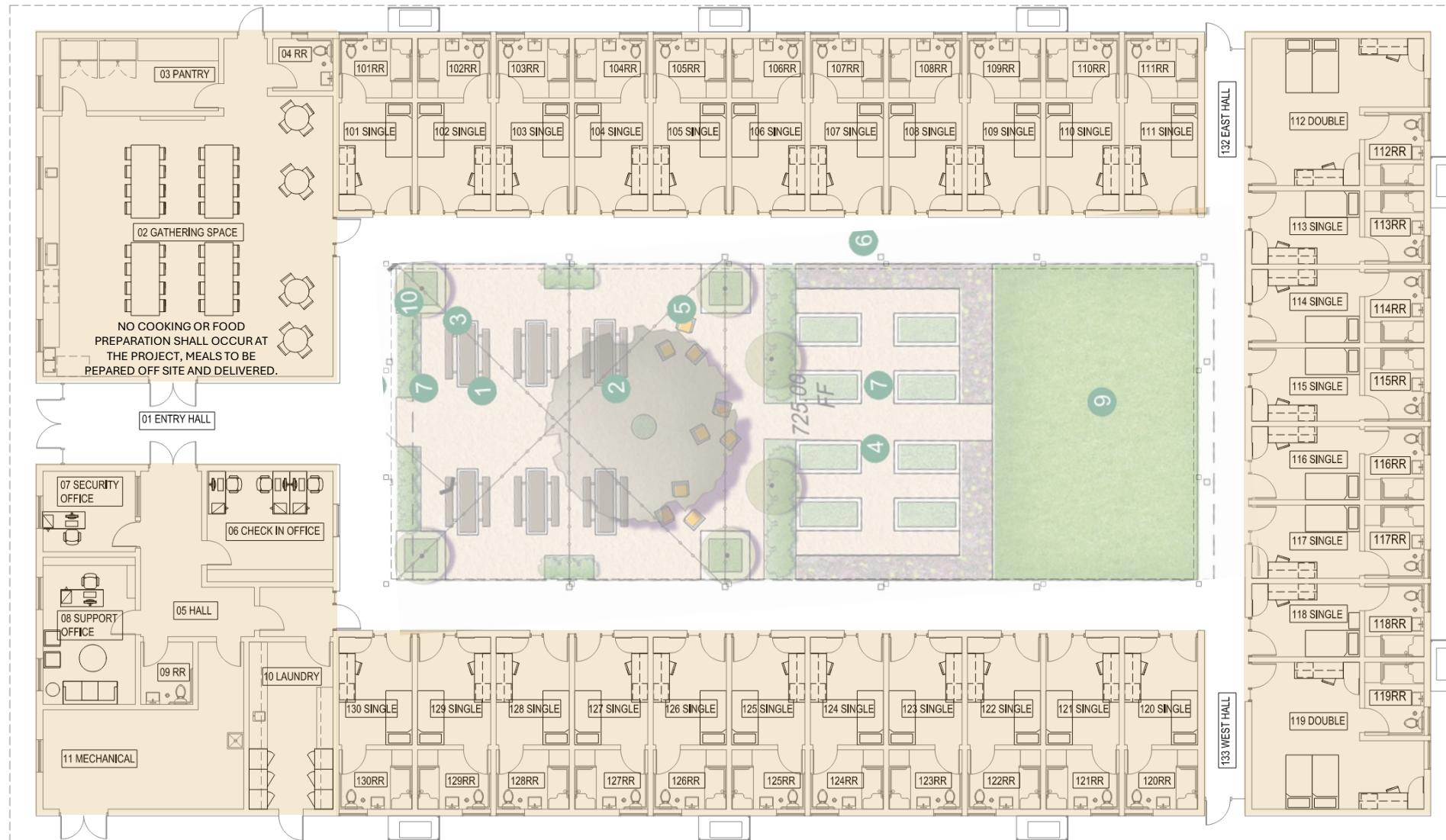
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90% PERMIT SET

Floor  
Plan

**A2.1**

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FURNITURE PLAN GENERAL NOTES:

1. FURNITURE PLAN SHOWN FOR REFERENCE ONLY. ITEMS SHOWN HERE AND NOT ON A2.1 SHALL BE PROVIDED BY THE OWNER AND SHALL NOT BE INCLUDED IN THE CONTRACT FOR CONSTRUCTION.



Ojai Permanent Supportive Housing

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## Roof Plan

A2.3

**UNVENTED SIPS ROOF ASSEMBLY OVER GATHERING SPACE, SEE BUILDING SECTIONS AND STRUCTURAL**

**VENTILATION**

**ROOF VENTILATION CALCULATIONS**

ATTIC AREA (SF)	11,300
FACTOR	150
REQUIRED VENT AREA (SF)	75
NET FREE SQUARE INCHES REQ'D	10,848
UPPER VENT NFVA	5,424
LOWER VENT NFVA	5,424

**PROPOSED**

4" EXTERIOR SOFFIT VENT (LF)	475
4" COURTYARD SOFFIT VENT (LF)	287
NFVA PER LF	19.2

**TOTAL LOWER NFVA**

RIDGE VENT - CONTINUOUS  
4" CONTINUOUS RIDGE VENT  
NFVA PER LF  
19.2

**TOTAL UPPER NFVA**

7,277

**ROOF PLAN LEGEND**

- - - INTUMESCENT SOFFIT AND RIDGE VENTS, SEE WALL SECTIONS, DETAILS AND OUTLINE SPECS

**ROOF PLAN KEY NOTES**

① GUTTER AND DOWNSPOUT - PROVIDE GUTTER SCREENS

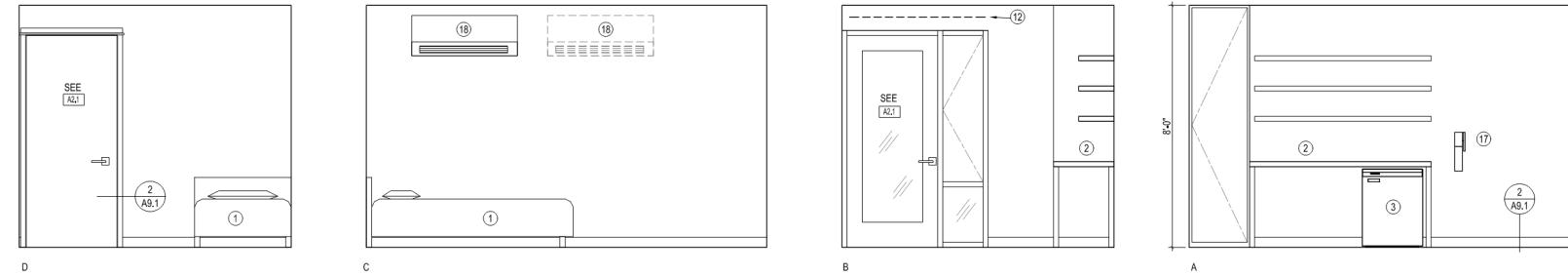
**ROOF PLAN GENERAL NOTES:**

1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. SEE ELECTRICAL FOR SOLAR PV ARRAY AND ASSOCIATED CONDUIT REQUIREMENTS.
5. ALL ROOF PENETRATIONS TO COMPLY WITH ROOFING MANUFACTURES REQUIREMENTS.
6. ALL GUTTERS TO BE SCREENED.
7. PROVIDE CONTINUOUS 4" INTUMESCENT RIDGE VENTING AT TRUSS ROOF. SEE ATTIC VENT CALCULATIONS.

**ROOF PLAN**

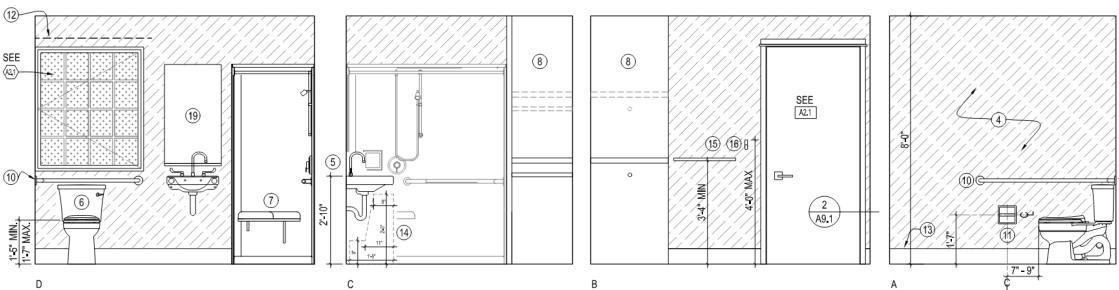
1 A2.3 1/8" = 1'-0"

progress and intended for discussion purposes only not for bidding, permitting or construction.



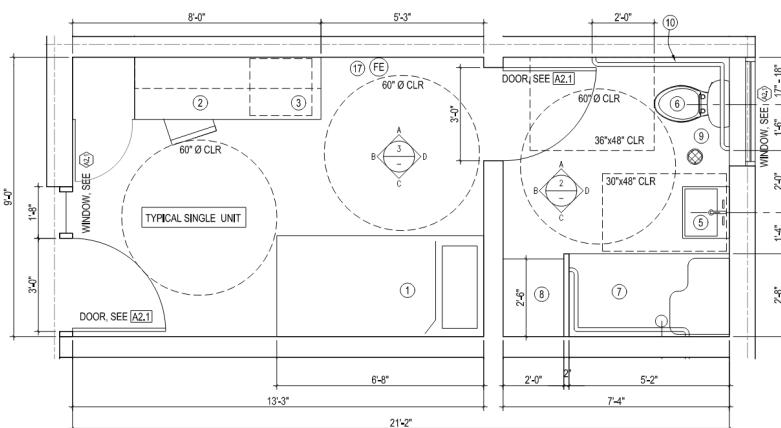
**SINGLE UNIT INTERIOR ELEVATIONS**

3 A2.4  
1/2" = 1'-0"



**SINGLE UNIT RESTROOM INTERIOR ELEVATIONS**

2 A2.4  
1/2" = 1'-0"



**ENLARGED SINGLE UNIT FLOOR PLAN**

1 A2.4  
1/2" = 1'-0"

**UNIT PLAN KEY NOTES**

- ① TWIN XL BED, STORAGE BELOW, FOJO
- ② DESK, SHELVES ABOVE, CLOSET, FOJO
- ③ MINI FRIDGE BELOW, FOJO
- ④ FRP WALL PANELING, FULL HEIGHT
- ⑤ WALL MOUNTED SINK
- ⑥ TOILET
- ⑦ ROLL IN SHOWER INSTALL PER MFR REC, PROVIDE SHOWER CURTAIN
- ⑧ CLOSET, RODSHELF ABOVE
- ⑨ FLOOR DRAIN
- ⑩ GRAB BAR
- ⑪ TISSUE HOLDER
- ⑫ WINDOW COVERINGS, FOJO
- ⑬ 6' COVE BASE
- ⑭ MIN. KNEE CLEARANCES
- ⑮ SHELF
- ⑯ COAT HOOK
- ⑰ FIRE EXTINGUISHER ON BRACKET
- ⑱ HVAC, SEE MECHANICAL DRAWINGS
- ⑲ FRAMELESS SS SHELF AND MIRROR

NO COOKING OR FOOD PREPARATION TO OCCUR AT PROJECT.  
ALL MEALS TO BE PREPARED OFF-SITE AND DELIVERED.

**UNIT PLAN GENERAL NOTES:**

1. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
3. ALL INTERIOR WALLS TO BE WALL TYPE 1 UNO.
4. SEE A6.2 AND A6.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
5. SEE A6.2 FOR REFLECTED CEILING PLAN.
6. DRAWINGS AND NOTES SHOWN HERE ARE TYPICAL FOR ALL SINGLE UNITS. PROVIDE MIRROR IMAGE OF LAYOUT FOR EVERY OTHER UNIT.
7. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDL INFORMATION

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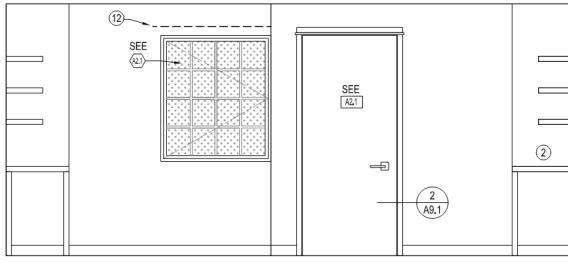
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**Ojai Permanent Supportive Housing**

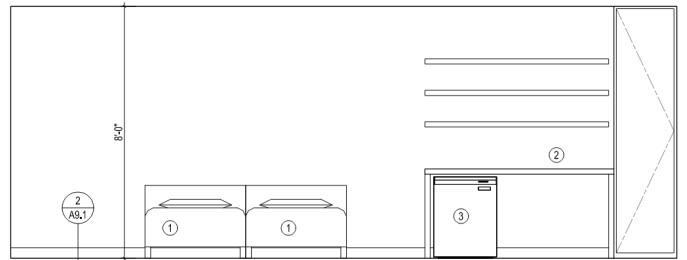
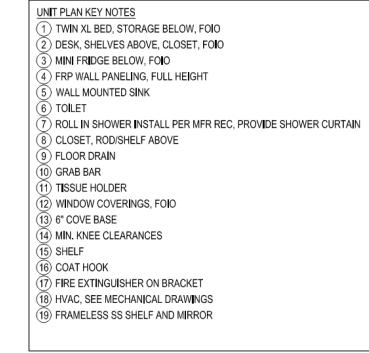
611 South Montgomery Street, Ojai California

**Single Unit  
Plan/Int. Elevs.  
A2.4**

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**DOUBLE UNIT INTERIOR ELEVATIONS (CONT.)**

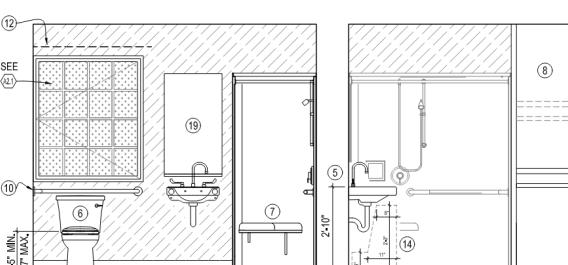
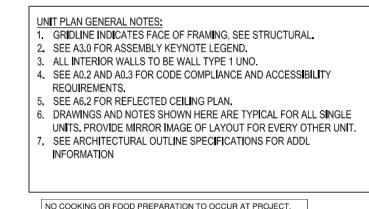


**DOUBLE UNIT INTERIOR ELEVATIONS**

**A**

**3 A2.5**

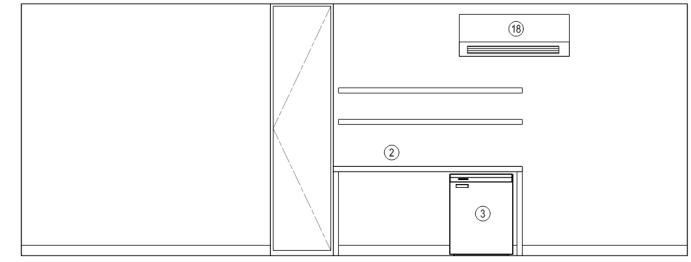
**1/2" = 1'-0"**



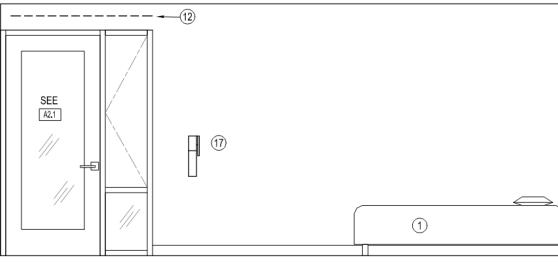
**DOUBLE UNIT RESTROOM INTERIOR ELEVATIONS**

**2 A2.5**

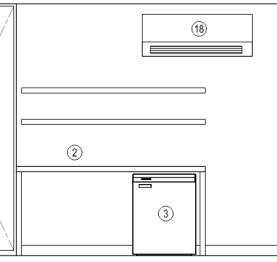
**1/2" = 1'-0"**



**C**



**B**

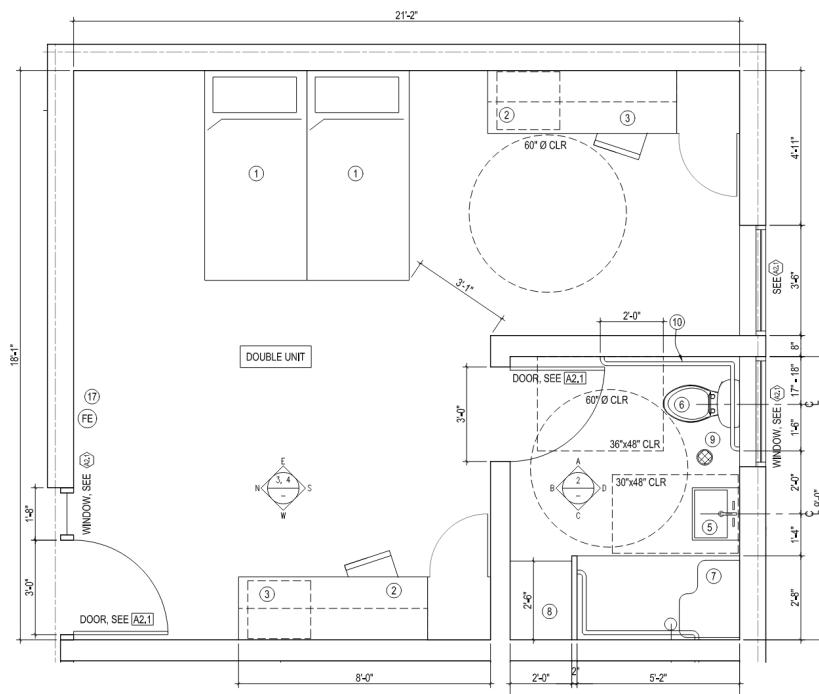


**A**

**1 A2.5**

**1/2" = 1'-0"**

**ENLARGED DOUBLE UNIT FLOOR PLAN**



**Double Unit  
Plan/Int. Elevs.  
A2.5**

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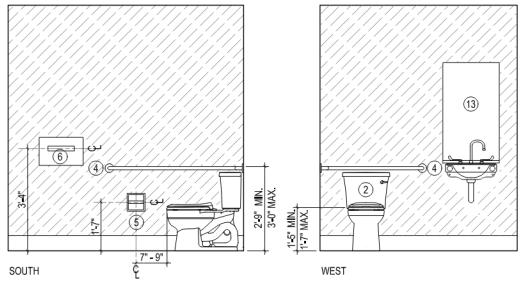
## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

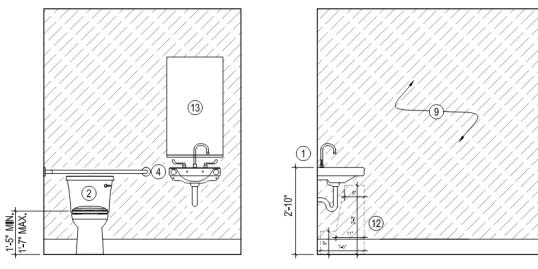
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Restrooms  
Plans/Int. Elevs.  
**A2.6**

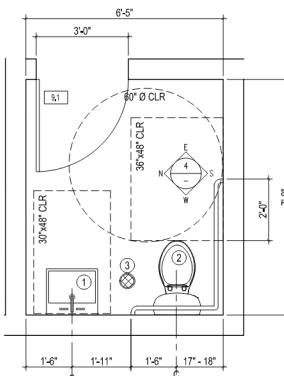
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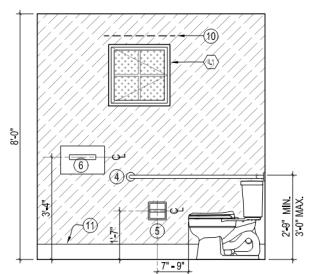
**09 RESTROOM INTERIOR ELEVATIONS**



**04 RESTROOM INTERIOR ELEVATIONS**



**ENLARGED 09 RESTROOM FLOOR PLAN**



**ENLARGED 04 RESTROOM FLOOR PLAN**

**RESTROOM FLOOR PLAN KEY NOTES**  
 ① WALL MOUNTED SINK  
 ② TOILET  
 ③ FLOOR DRAIN  
 ④ GRAB BAR  
 ⑤ TISSUE HOLDER  
 ⑥ SEAT PAPER DISPENSER  
 ⑦ COAT HOOK  
 ⑧ SHELF  
 ⑨ FRP WALL PANELING, FULL HEIGHT  
 ⑩ WINDOW COVERINGS, FOIO  
 ⑪ 6" COVE BASE  
 ⑫ MIN. KNEE CLEARANCES  
 ⑬ FRAMELESS SS SHELF AND MIRROR

**RESTROOM FLOOR PLAN GENERAL NOTES:**  
 1. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.  
 2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.  
 3. ALL INTERIOR WALLS TO BE WALL TYPE 2 UNLESS NOTED OTHERWISE.  
 4. SEE A0.2 AND A0.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.

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Restrooms  
Plans/Int. Elevs.  
**A2.6**

## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

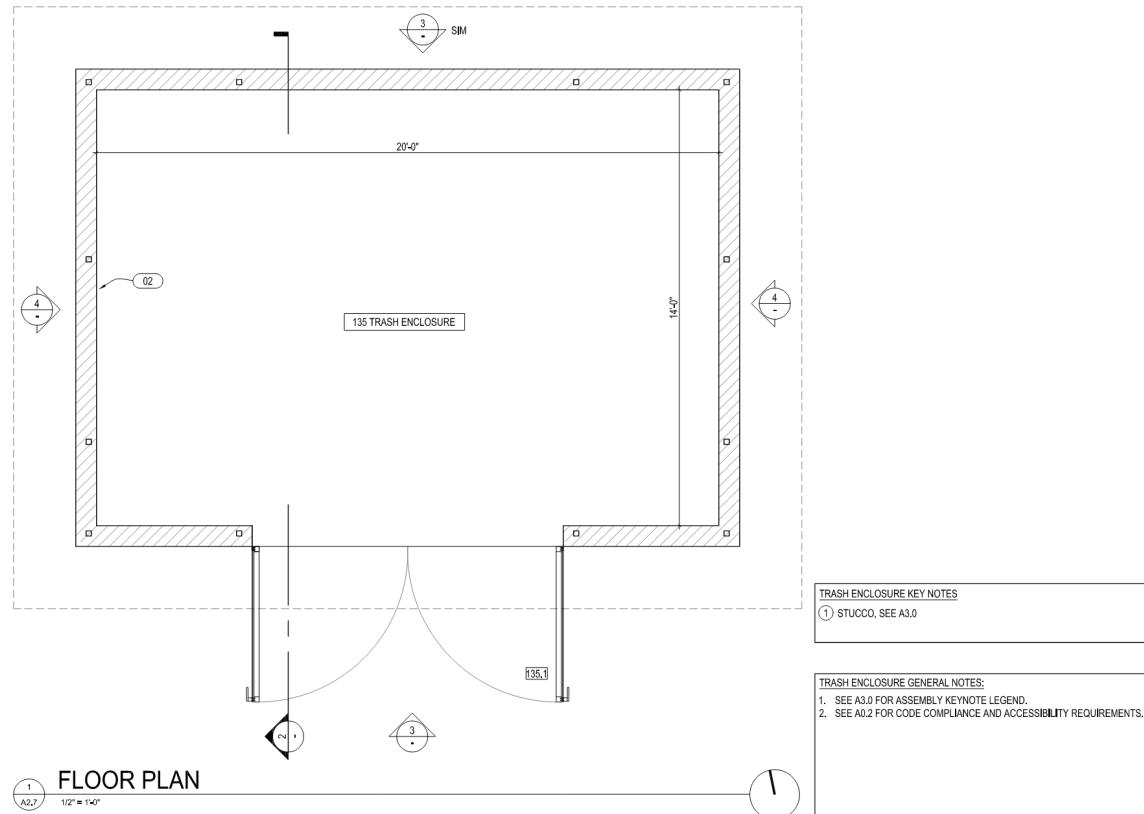
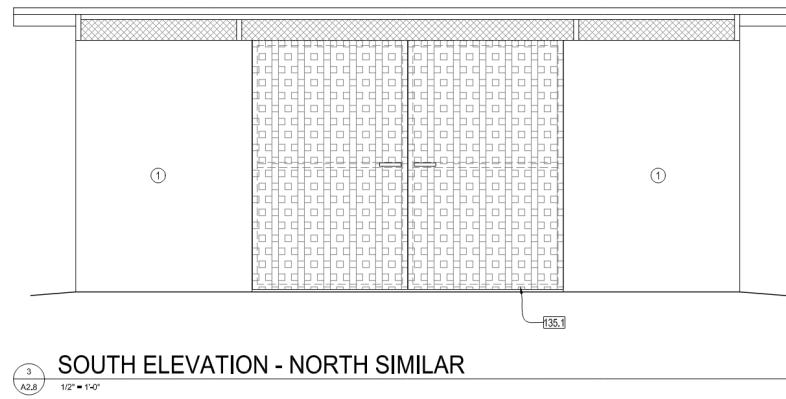
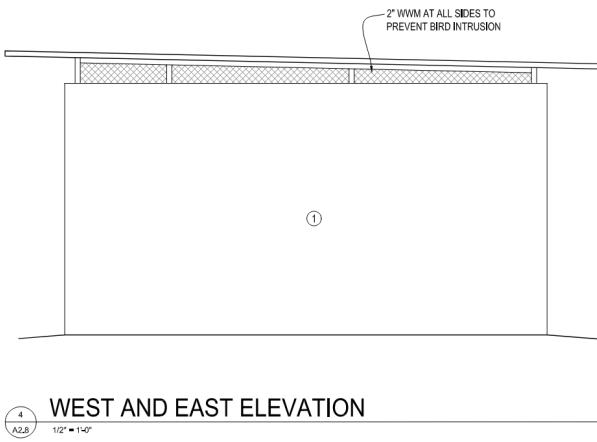
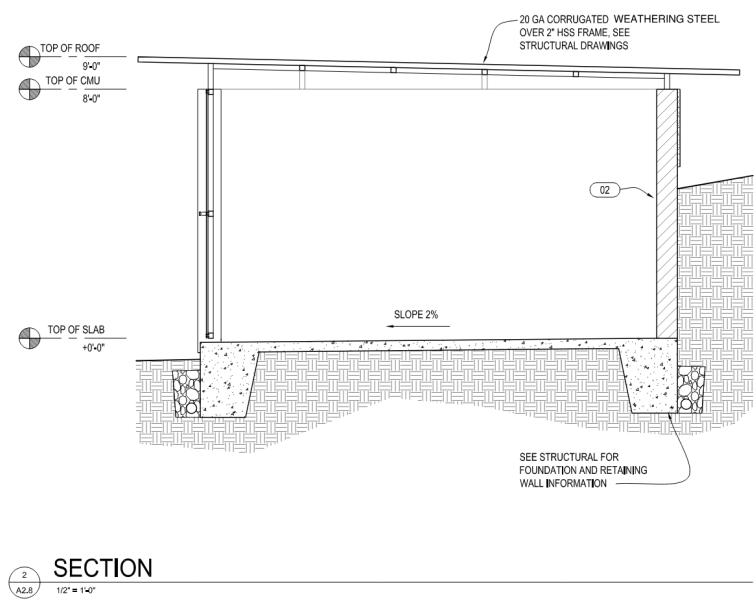
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Trash  
Enclosure  
**A2.8**



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## FINISH SCHEDULE

#	NAME	FLOOR	CEILING	WALLS				REMARKS
				NORTH	SOUTH	EAST	WEST	
01	ENTRY HALL	SEALED CONC	OPEN TO STRCT, VAULTED, STUCCO, FAUX BEAMS	-	-	STUCCO	STUCCO	UNCONDITIONED SPACE
02	GATHERING SPACE	SEALED CONC	OPEN TO STRCT, VAULTED, CSP, ACOUSTIC	PAINTED CSP	PAINTED CSP	PAINTED CSP	PAINTED CSP	
03	PANTRY	SEALED CONC	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
04	RESTROOM	SEALED CONC	PAINTED GWB	FRP	FRP	FRP	FRP	
05	HALL	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
06	CHECK IN OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
07	SECURITY OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
08	SUPPORT OFFICE	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
09	RESTROOM	SEALED CONC	PAINTED CSP	FRP	FRP	FRP	FRP	
10	LAUNDRY	SEALED CONC	PAINTED CSP	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
101-130	SINGLE/DOUBLE	SEALED CONC	PAINTED GWB	SEE WALL TAGS ON PLAN				
101R-130R	ENSUITE RESTROOMS	SEALED CONC	PAINTED GWB	FRP	FRP	FRP	FRP	
134	STORAGE BUILDING	SEALED CONC	OPEN TO STRCT	PAINTED CSP	PAINTED CSP	PAINTED CSP	PAINTED CSP	UNCONDITIONED SPACE

NOTE: SEE PROJECT MANUAL FOR FINISH AND PAINT SPECIFICATIONS, TYPICAL.

## Ojai Permanent Supportive Housing

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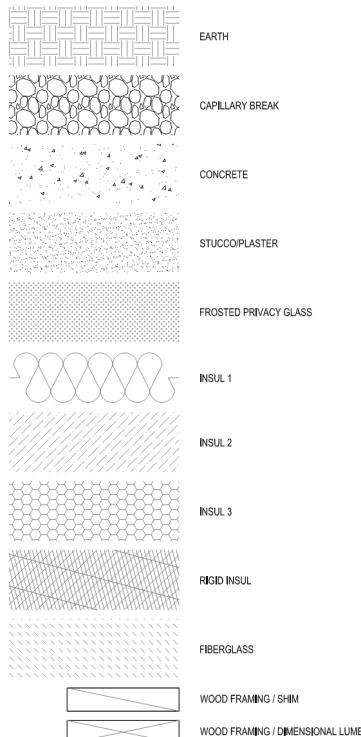
Schedules

A2.11

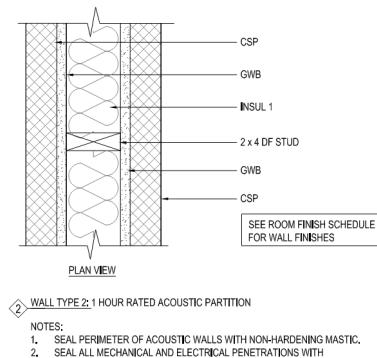
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## MATERIALS LEGEND

	COMPRESSED STRAW PANEL (CSP)
	FIBER CEMENT PANEL
	PLYWOOD
	INTERIOR WOOD PANELING
	GYPSUM BOARD (GWB)
	WATER AND AIR BARRIER (WAB)
	POLYETHYLENE BUILDING WRAP (PBW)
	LIQUID APPLIED WATER & AIR BARRIER (LWAB) / BITUMINOUS DAMP PROOFING (BOP)
	SELF ADHERED FLASHING (SAF)
	THERMOPLASTIC ROOFING MEMBRANE (TMR)
	VAPOR RETARDER (VR)
	WOOD FRAMING SILL SEALER
	ACOUSTIC CEILING TILE (ACT)
	CARPET (CPT)
	MORTAR NET
	DRAINAGE MAT (DM)
	BENTONITE WATERPROOFING (BWP-1)
	GEOTEXTILE FABRIC



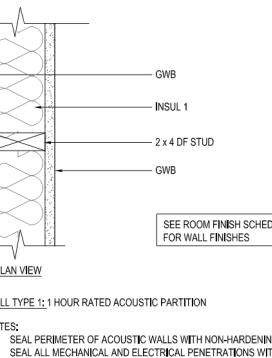
## INTERIOR WALL TYPE LEGEND



### ② WALL TYPE 2: 1 HOUR RATED ACOUSTIC PARTITION

NOTES:

1. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
2. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
3. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS AT ACOUSTIC WALL MIN (2) STUD BAYS.
4. PROVIDE INTUMESCENT SEALANT AT PANEL JOINTS PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN 1-HOUR RATING.



### ① WALL TYPE 1: 1 HOUR RATED ACOUSTIC PARTITION

NOTES:

1. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
2. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
3. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS AT ACOUSTIC WALL MIN (2) STUD BAYS.

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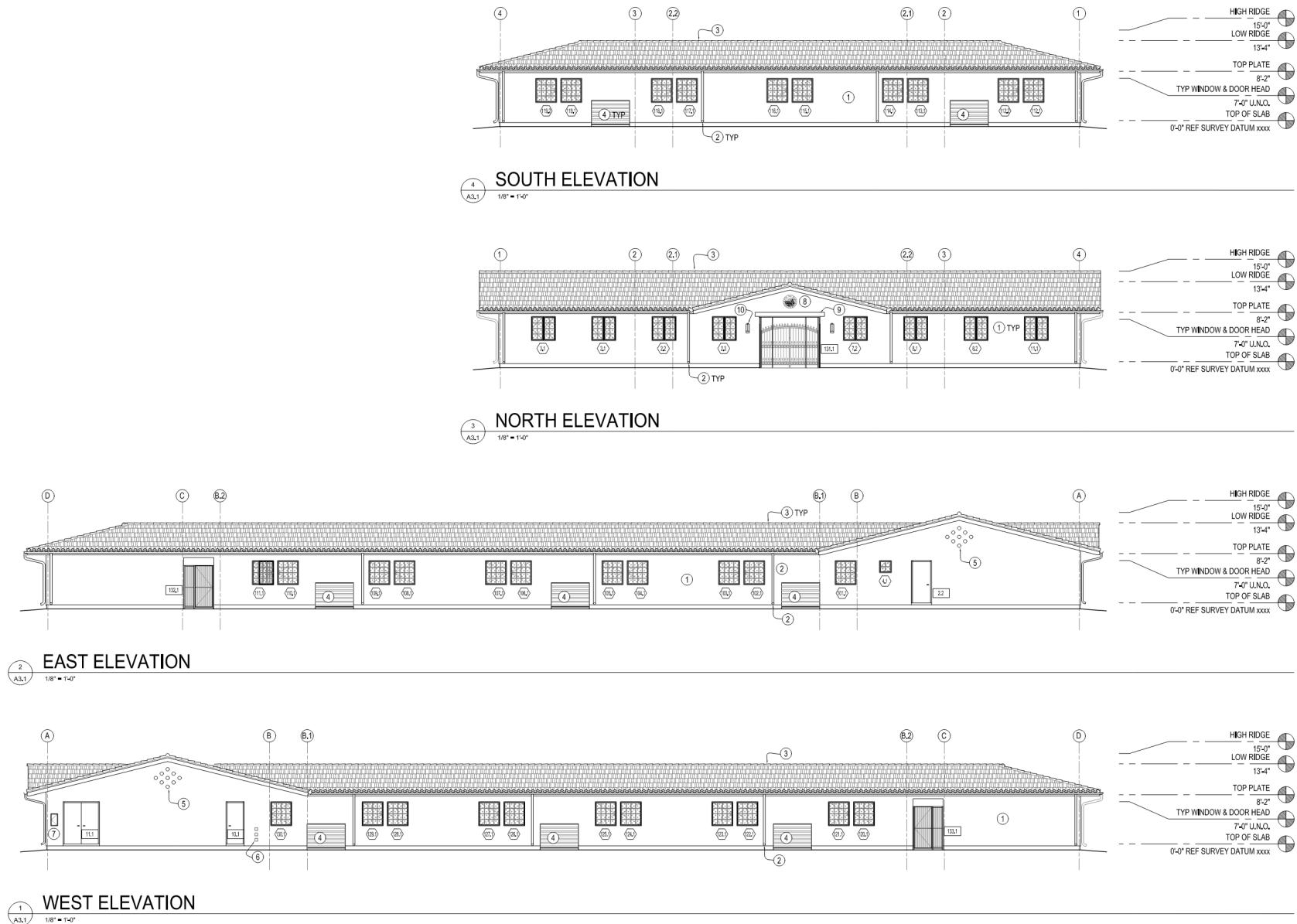
Assembly  
Keynote Legend

A3.0

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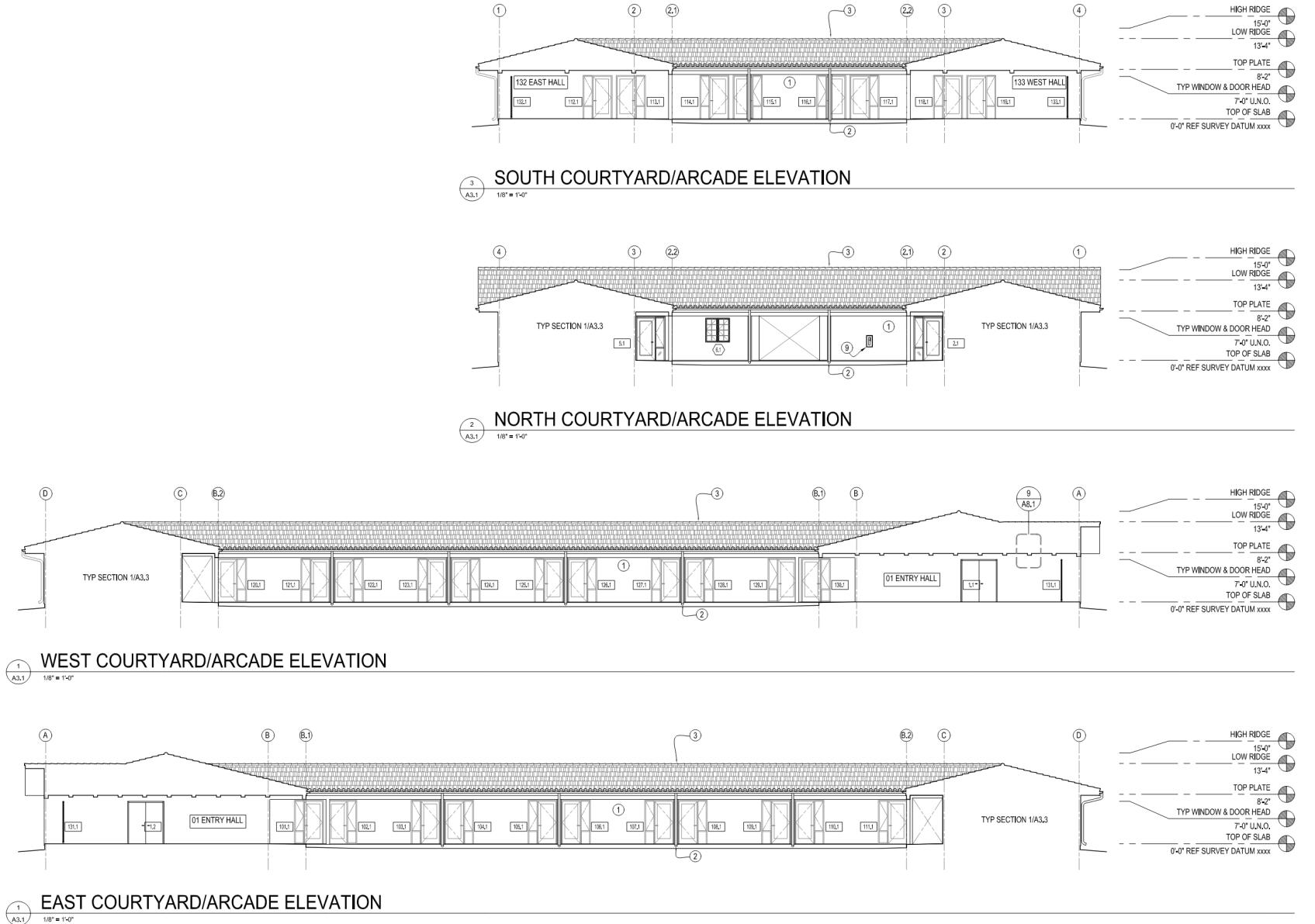
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Exterior  
Elevations  
**A3.1**

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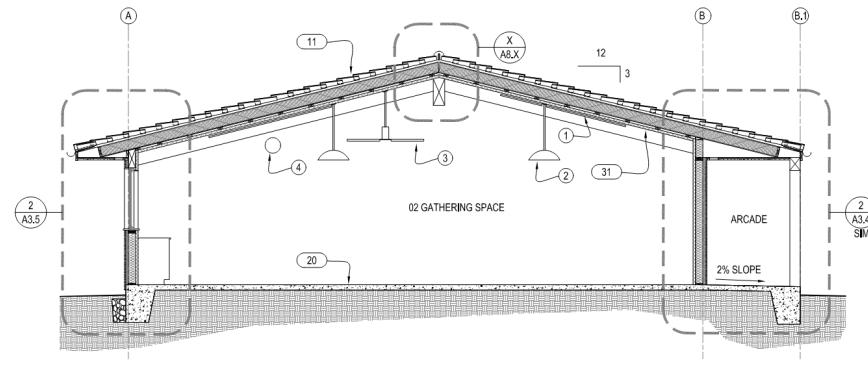
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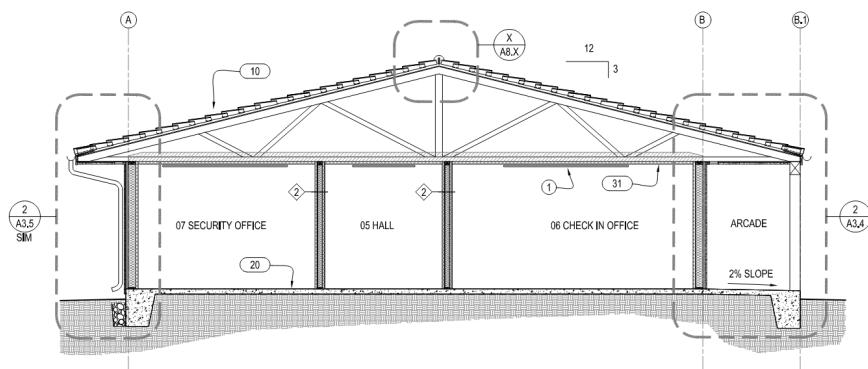
Exterior  
 Elevations

**A3.2**

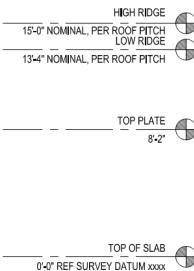
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**BUILDING SECTION**



**BUILDING SECTION**

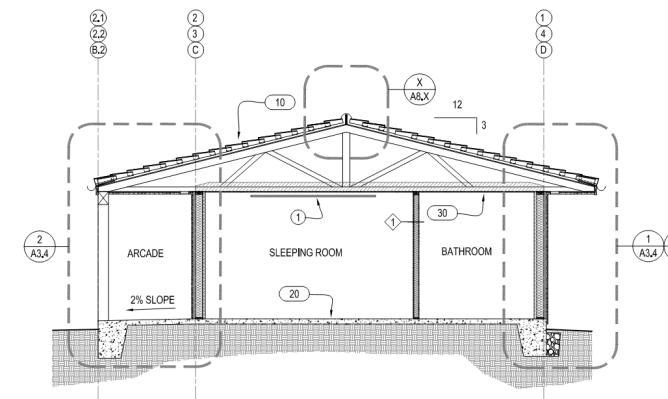


**SECTION KEY NOTES**

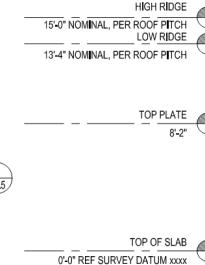
- ① ACCOUSTIC PANEL, SEE A6.1
- ② LIGHT FIXTURE, SEE A6.1
- ③ FAN, SEE A6.1
- ④ HVAC DUCT, SEE MECHANICAL DRAWINGS

**SECTION GENERAL NOTES:**

1. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.



**TYPICAL BUILDING SECTION**



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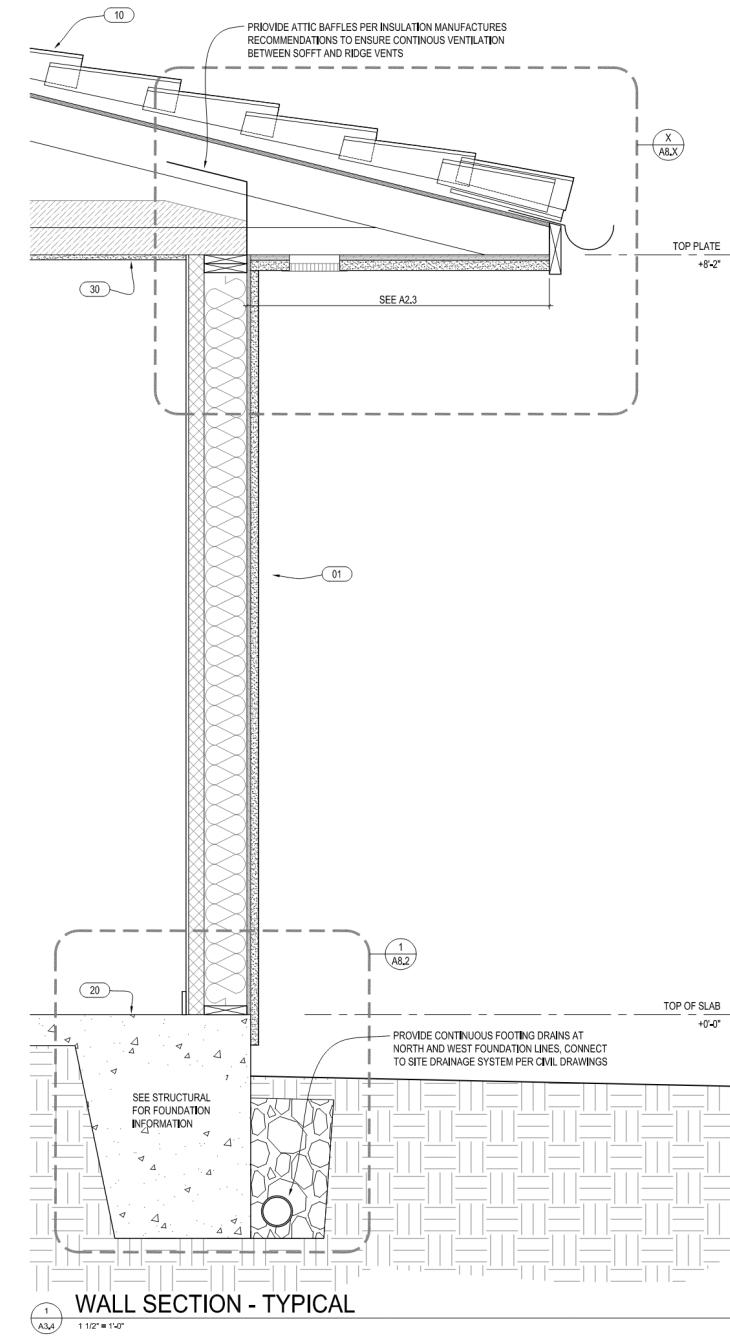
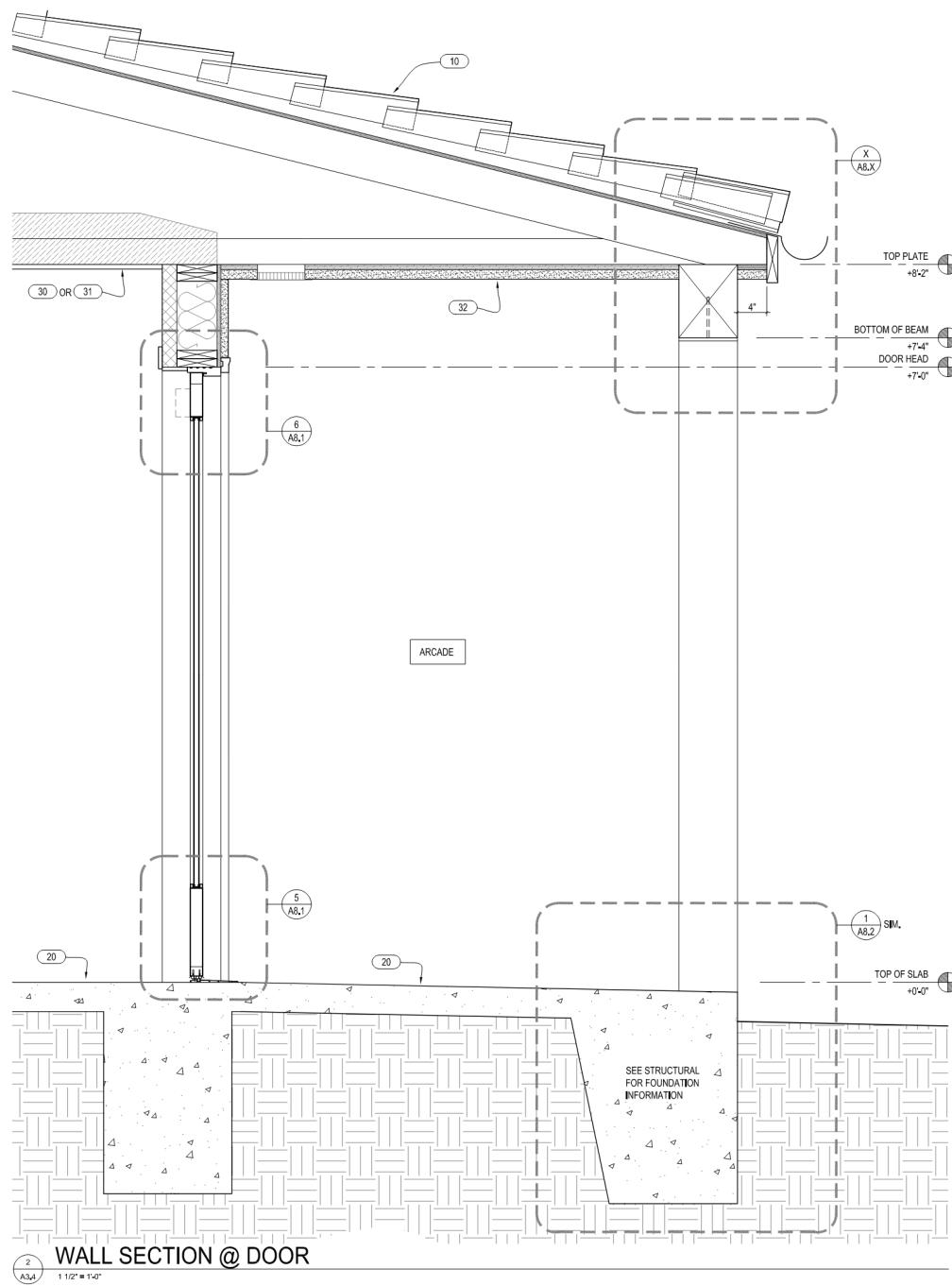
**Building Sections**  
**A3.3**

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**Ojai Permanent Supportive Housing**

611 South Montgomery Street, Ojai California

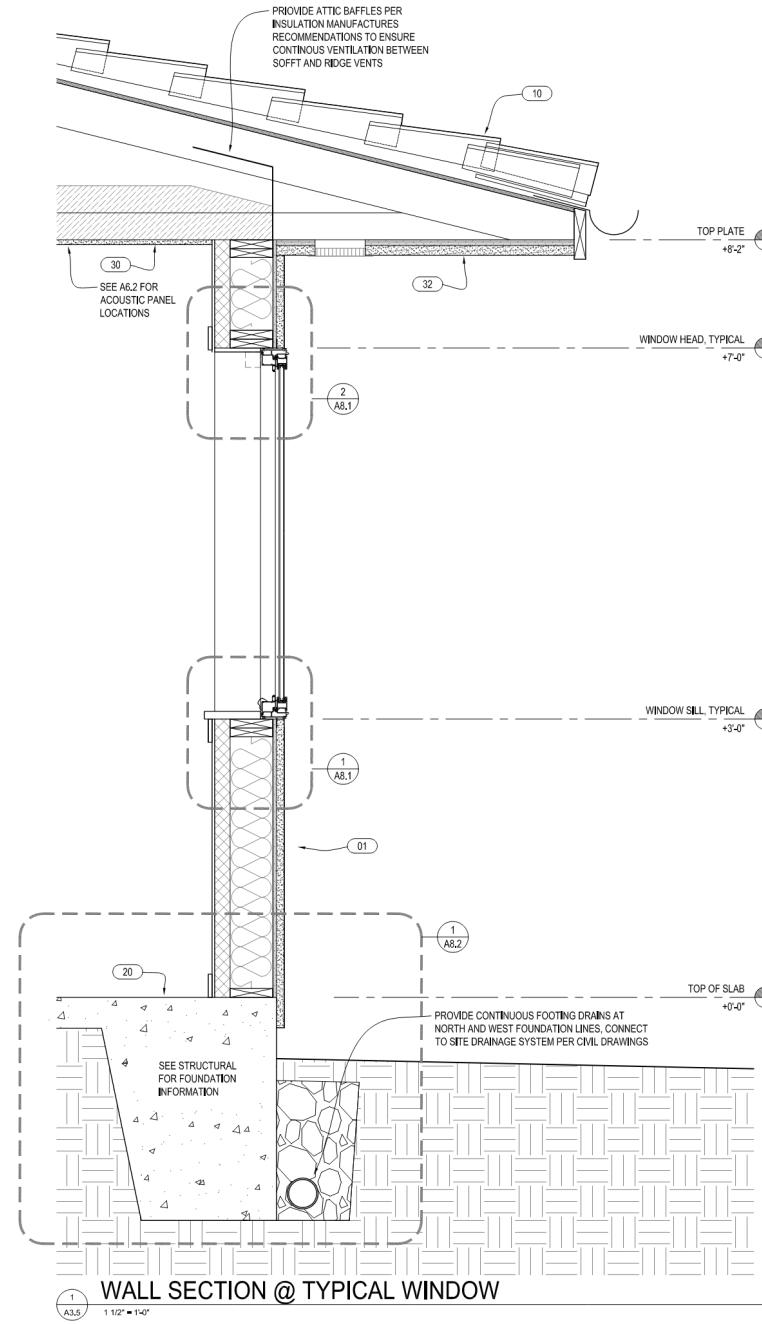
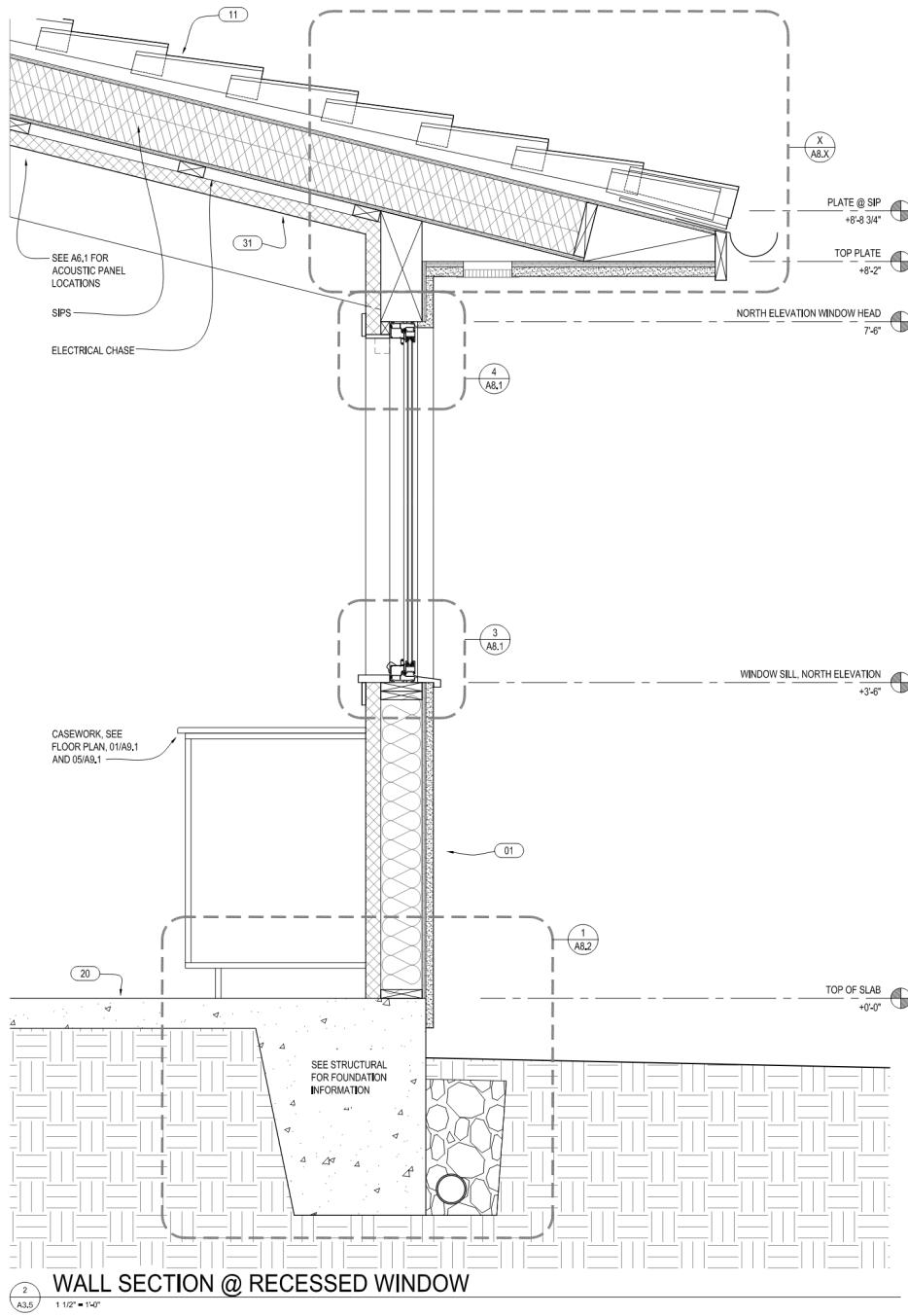
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17 OCT 2025

90% PERMIT SET

Wall  
Sections  
**A3.4**

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17 OCT 2025  
90% PERMIT SET

Wall  
Sections  
**A3.5**

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## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

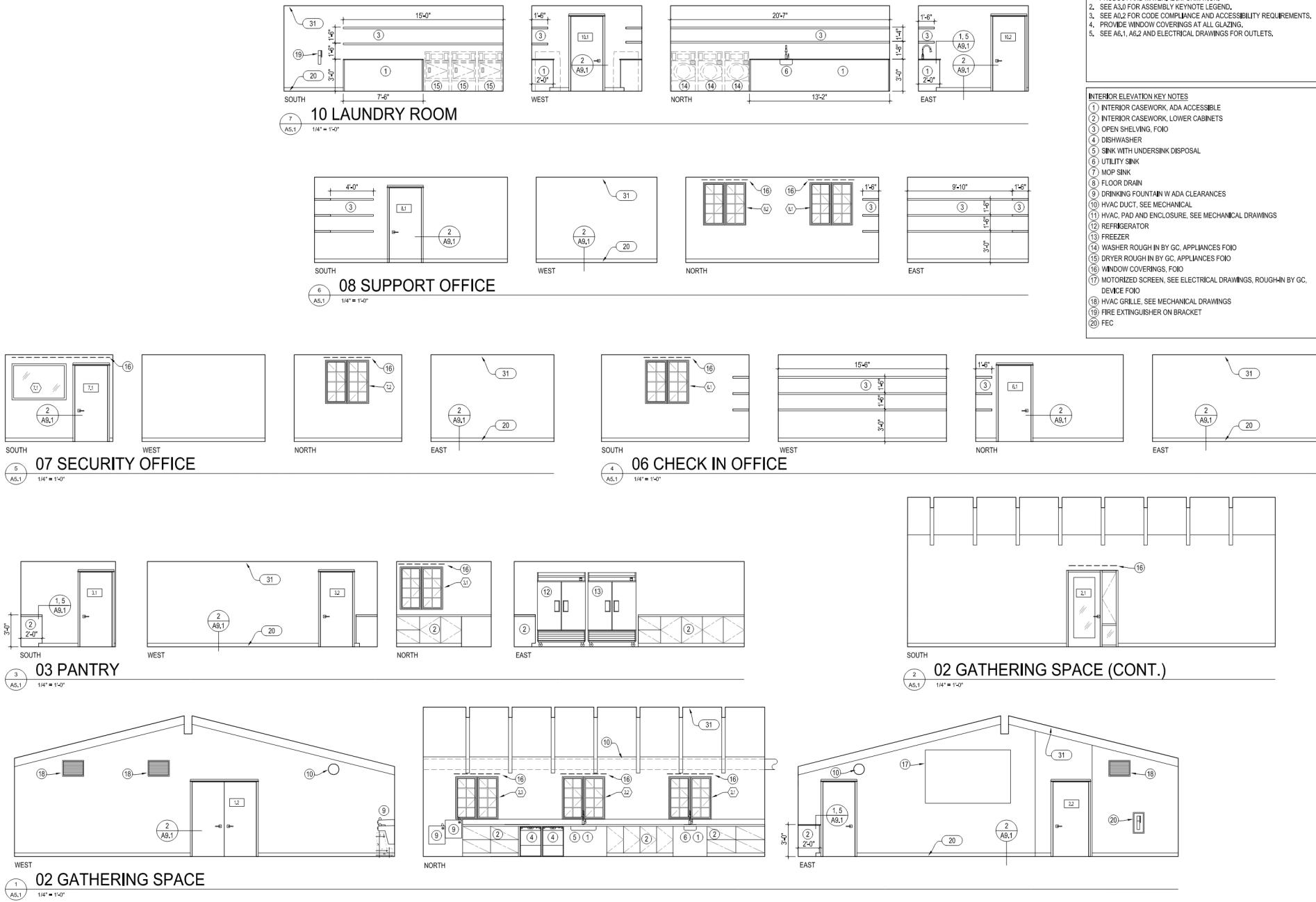
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NOT FOR CONSTRUCTION

17 OCT 2025

90% PERMIT SET

Interior  
Elevations  
**A5.1**



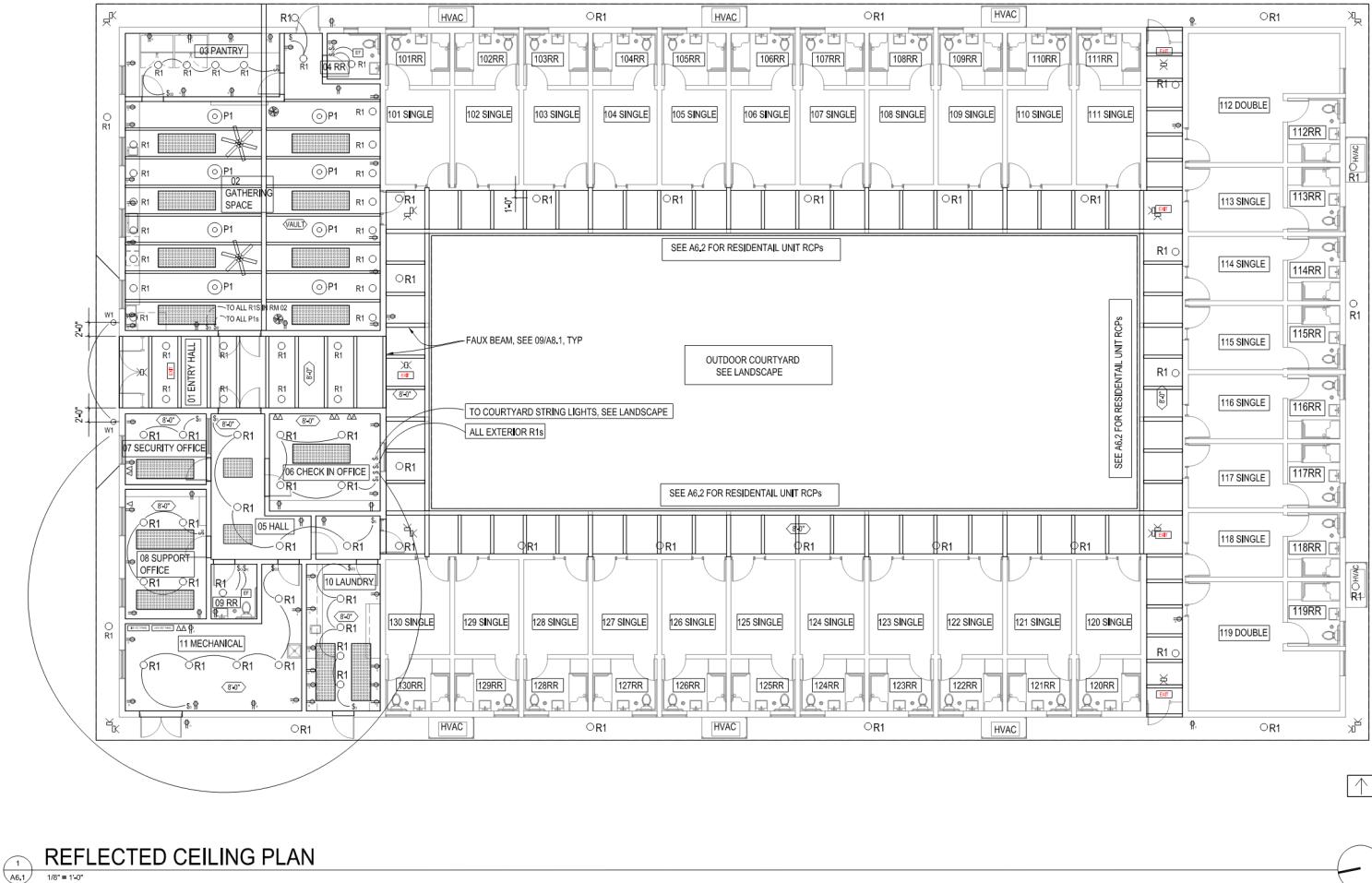
## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

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Reflected  
Ceiling Plan  
**A6.1**



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## Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

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NOT FOR CONSTRUCTION  
17 OCT 2025  
90% PERMIT SET

Enlarged  
Unit RCPs  
A6.2

**REFLECTED CEILING PLAN GENERAL NOTES:**

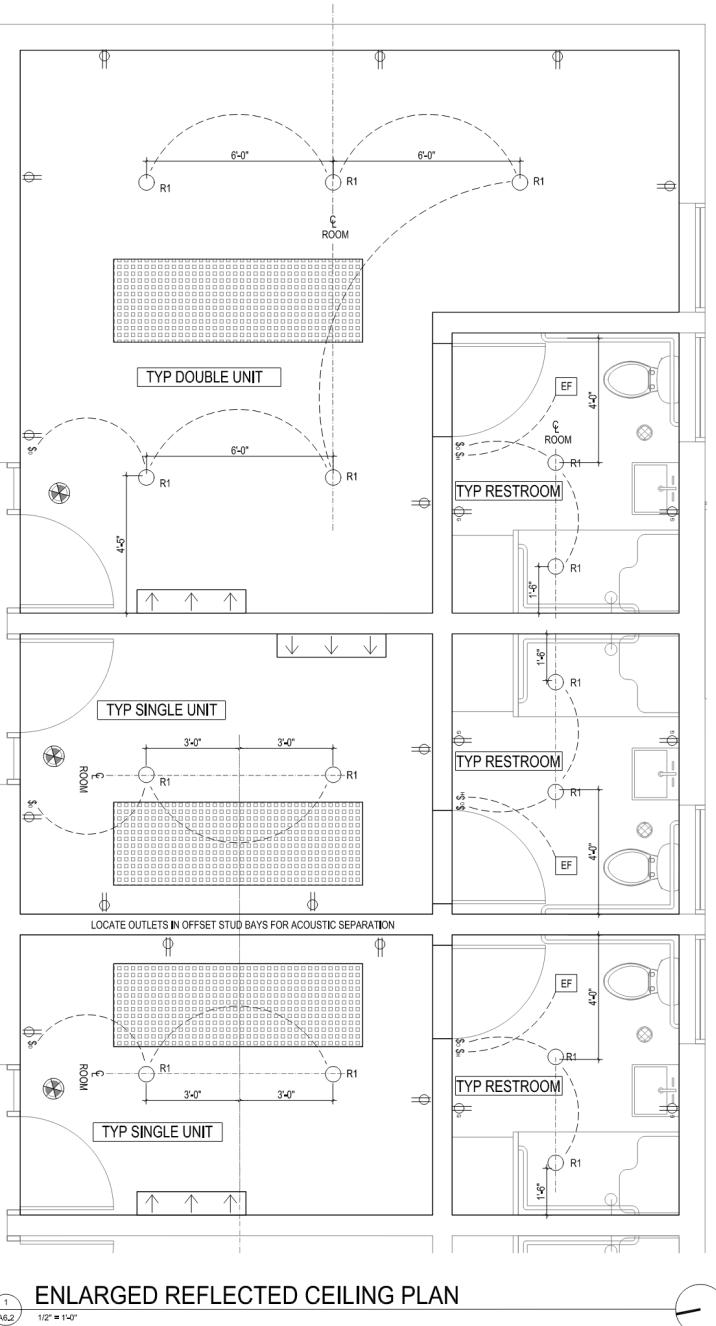
1. RCP FOR FIXTURE AND DEVICE LAYOUT, SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE A6.2 FOR TYPICAL RESIDENTIAL UNIT RCPs
3. CEILINGS ARE 8'-0" CEILING HEIGHT 8'-0" AFF UNO (GATHERING SPACE IS VAULTED, OPEN TO STRUCTURE).
4. ALL SOFFITS 6'-0" AFF UNO, SEE A8.1 FOR CORBEL DETAILS
5. SPRINKLER SYSTEM NOT SHOWN, TO BE PROVIDED DESIGN+BUILD UNDER DEFERRED SUBMITTAL; PROVIDE COORDINATION DRAWING WITH RCPs.
6. SEE ENERGY DOCUMENTATION FOR MINIMUM PERFORMANCE STANDARDS.
7. ALL LUMINARIES TO BE LED, DIMMABLE, 2700K 90+ CRI, SEE A2.9 FOR DEVICE SCHEDULES.
8. UNO, FIXTURES TO BE INSTALLED ALIGNED WITH ONE ANOTHER AND CENTERED BETWEEN STRUCTURE AND/OR WALLS.
9. SEE STRUCTURAL DRAWINGS FOR BEAM SIZES AND CLEAR HEADROOM BELOW BEAMS.
10. AT GATHERING AREA COUNTERTOPS, PROVIDE EQUALLY SPACED GFCI OUTLETS AT 24" O.C.
11. ALL CONDUIT, PIPING AND DUCTWORK TO BE CONCEALED.
12. SEE A3.0 FOR ASSEMBLY KEYNOTE SCHEDULE.
13. LAYING OUT OUTLETS, IF NOT OTHERWISE SHOWN, ELECTRICAL SYSTEM SHALL PROVIDE ULTRALOW POWER SUPPLY TO APPLIANCES AND MECHANICAL SYSTEM AS REQUIRED, PROVIDE GFCI OUTLETS AND WEATHER PROTECTION PER 2022 CEC.
14. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED AND/OR LOW VOLTAGE LIGHT FIXTURES ARE HIGH EFFICIENCY AND CALIFORNIA CERTIFIED IS TO BE ON-SITE AT TIME OF FIELD INSPECTION.
15. FIRESTOP ALL PENETRATIONS IN RATED WALLS SEPARATING UNITS.
16. PROVIDE GFCI PROTECTION TO ALL 120V RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, GATHERING SPACE, MECHANICAL, STORAGE BUILDING AND LAUNDRY.
17. PROVIDE GFCI PROTECTION FOR DISHWASHER OUTLETS.
18. PROVIDE GFCI PROTECTION FOR OCCUPANCY AND HUMIDITY SENSORS PER CEC.
19. PROVIDE TIMERS AS REQUIRED BY CODE FOR OUTDOOR FIXTURES.
20. PROVIDE MINIMUM QNTY OF GENERAL USE OUTLETS EVERY 6' ALONG WALLS OF OFFICES, HALLS, MECHANICAL AND LAUNDRY.
21. ALL PENETRATIONS AT RATED WALLS AND CEILINGS TO BE FIRESTOPPED AND SEALED TO MAINTAIN REQUIRED FIRE RESISTANCE RATING.

### ELECTRICAL FIXTURE AND DEVICE LEGEND

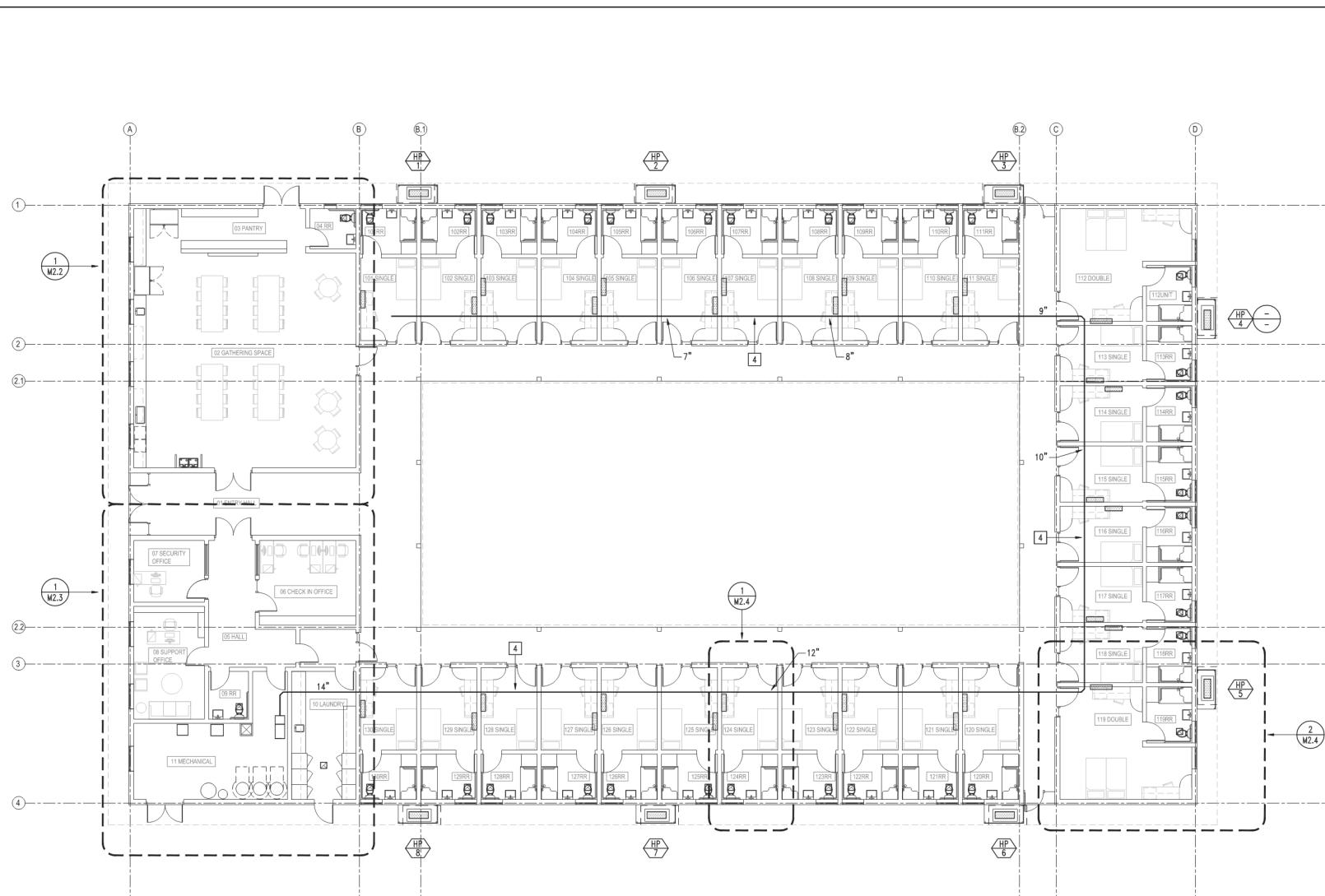
- R1 RECESSED FIXTURE 1 - FIRE RATED DISK 4" DISK LIGHT, DIMMABLE, 2700K 90+ CRI, WET RATED - DARK SKY COMPLIANT, CENTER IN ROOM, BETWEEN STRCT, OR MOUNT 24" OFF WALL UNO
- W1 EXTERIOR WALL MOUNTED SCONCE
- P1 PENDANTS, MILLENNIUM LIGHTING RWHC17R, MATTE BLACK FINISH, 2700K HALF MIRROR BULBS, MOUNT BOTTOM OF FIXTURE 8'-0" AFF, CENTER BETWEEN STRCT
- 5'-0" Ø CEILING FAN
- S1 WALL SWITCH , MOUNT CENTER AT 48" AFF (SUBSCRIPT "D" INDICATES DIMMER, TYP)
- S2 WALL SWITCH (3 WAY) , MOUNT CENTER AT 48" AFF
- S3 WALL SWITCH (TIMER), MOUNT CENTER AT 48" AFF
- S4 WALL SWITCH - HUMIDITY SENSOR
- S5 WALL SWITCH - OCCUPANCY SENSOR
- EF TAMPER RESISTANT GENERAL USE DUPLEX OUTLET MOUNT TOP CENTER AT 12" AFF (30" AFF WHEN ABV COUNTERTOP)
- FO TAMPER RESISTANT FLOOR OUTLET
- GFO TAMPER RESISTANT GFCI OUTLET, PROVIDE POST-MOUNTED UL LISTED COVER AT EXTERIOR
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- ▽ DATA OUTLET
- △ TELEPHONE JACK
- ◀ HARDWIRED SECURITY CAMERA, REVIEW COVERAGE WITH OWNER
- EXIT SIGN
- LINE VOLTAGE: ELEC PANEL, SEE ELECTRICAL DRAWINGS  
LOW VOLTAGE: ELEC PANEL, SEE ELECTRICAL DRAWINGS
- ACCOUSTIC PANEL

### HVAC LEGEND SEE MECHANICAL DRAWINGS FOR ADDL INFORMATION

- EF EXHAUST FAN, SEE MECHANICAL DRAWINGS
- WALL MOUNTED MINI SPLIT



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DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

M2.1

## OJAI PERMANENT SUPPORTIVE HOUSING

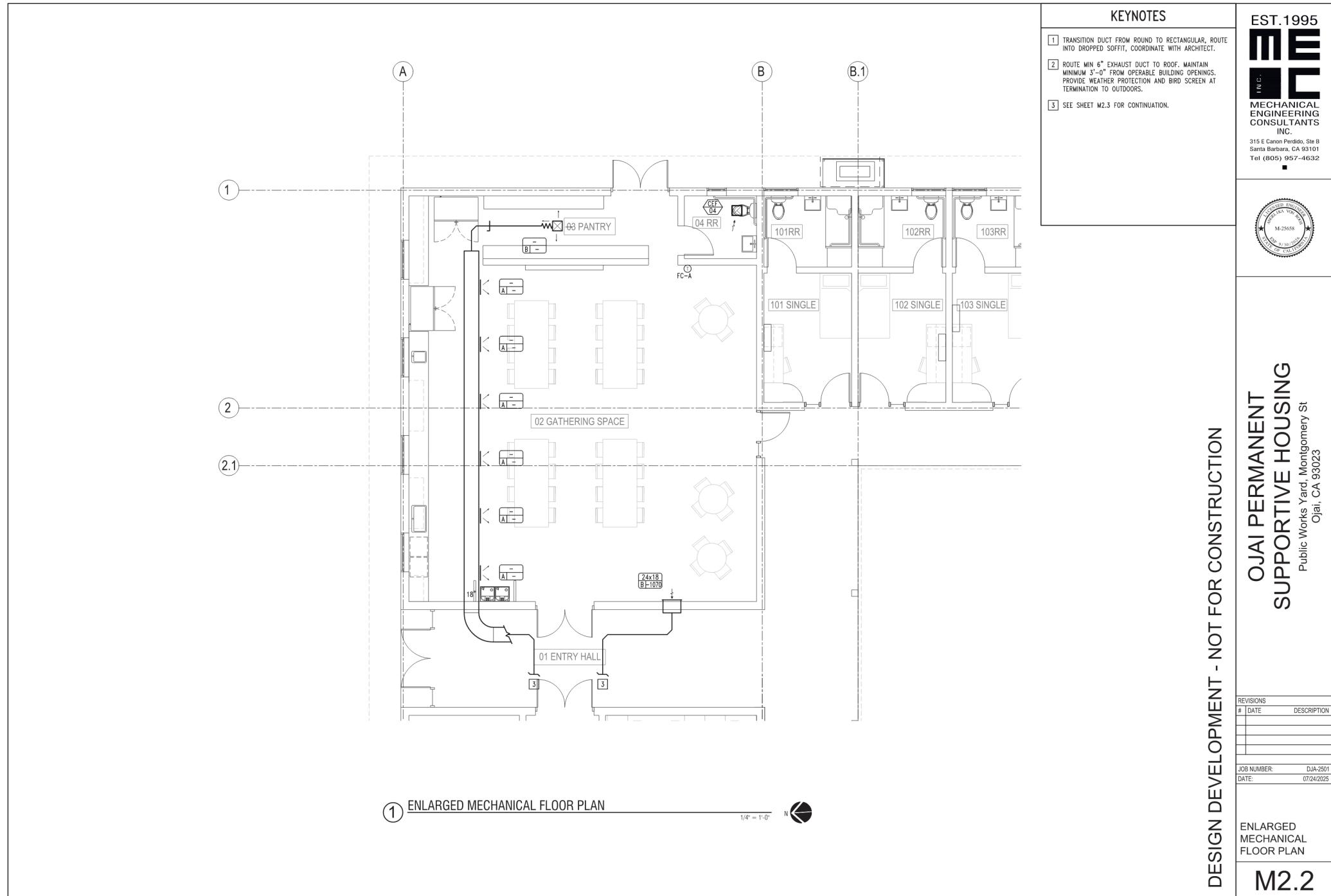
Public Works Yard, Montgomery St  
Ojai CA 93023

REVISIONS		
#	DATE	DESCRIPTION

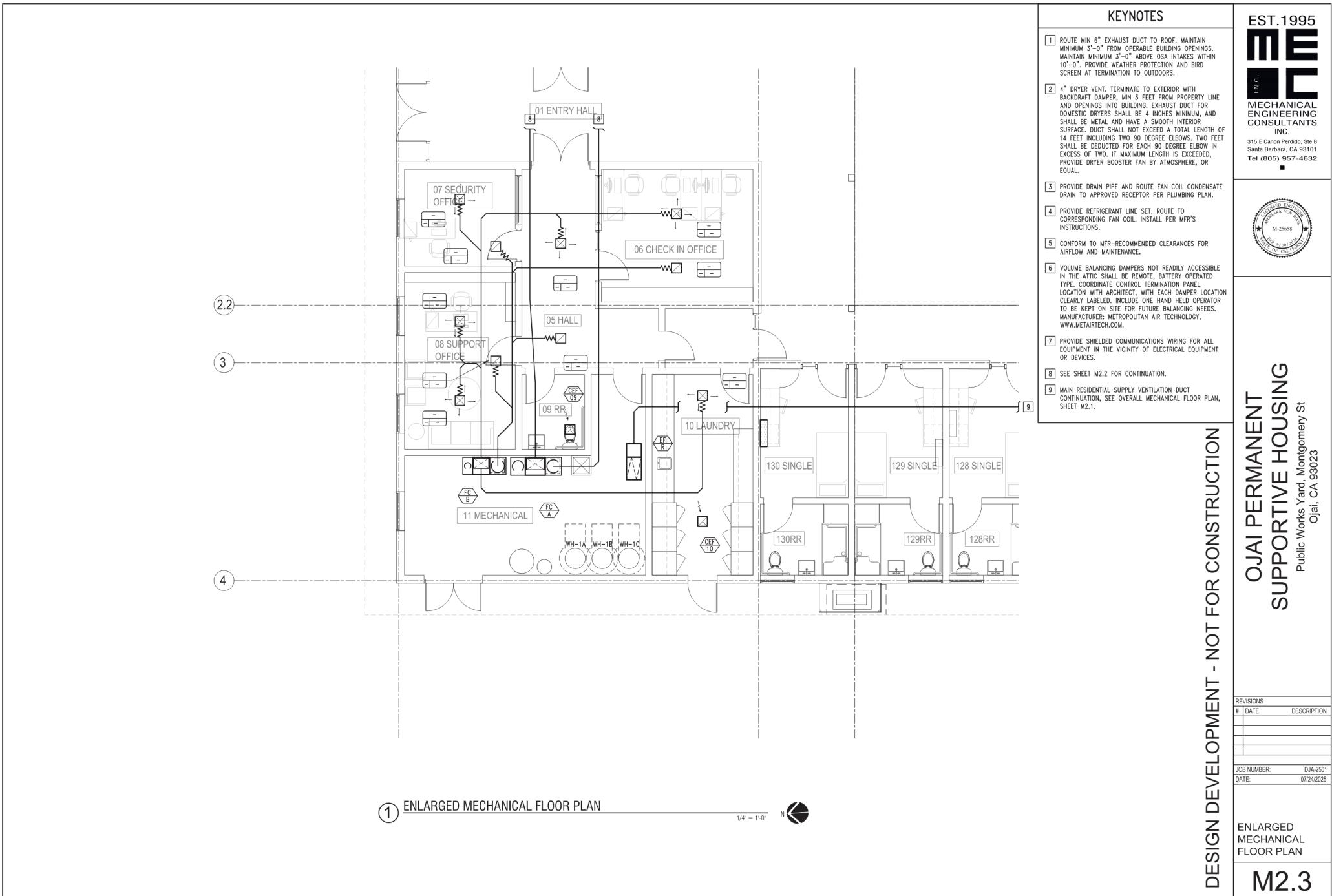
JOB NUMBER:	DJA-2501
DATE:	07/24/2025

## OVERALL MECHANICAL FLOOR PLAN

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## KEYNOTES

EST.1995



MECHANICAL  
ENGINEERING  
CONSULTANTS  
INC.

315 E Canon Perdido, Ste B  
Santa Barbara, CA 93101  
Tel (805) 957-4632



# OJAI PERMANENT SUPPORTIVE HOUSING

Public Works Yard, Montgomery St

IVE HUS  
works Yard, Montgomery St  
Ojai, CA 93023

REVISIONS		
#	DATE	DESCRIPTION

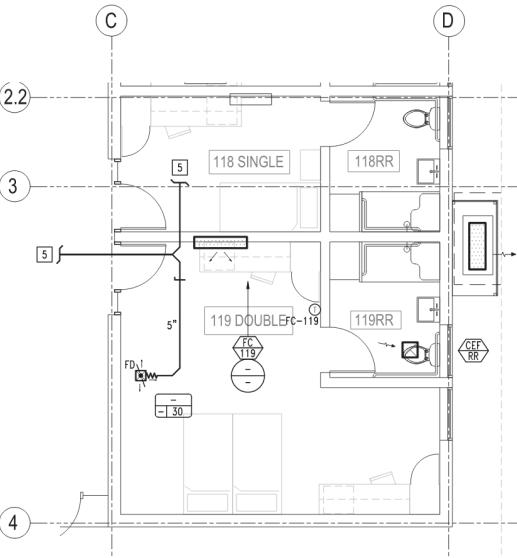
JOB NUMBER:	DJA-2501
DATE:	07/24/2025

ENLARGED  
MECHANICAL  
FLOOR PLANS

M2.4

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

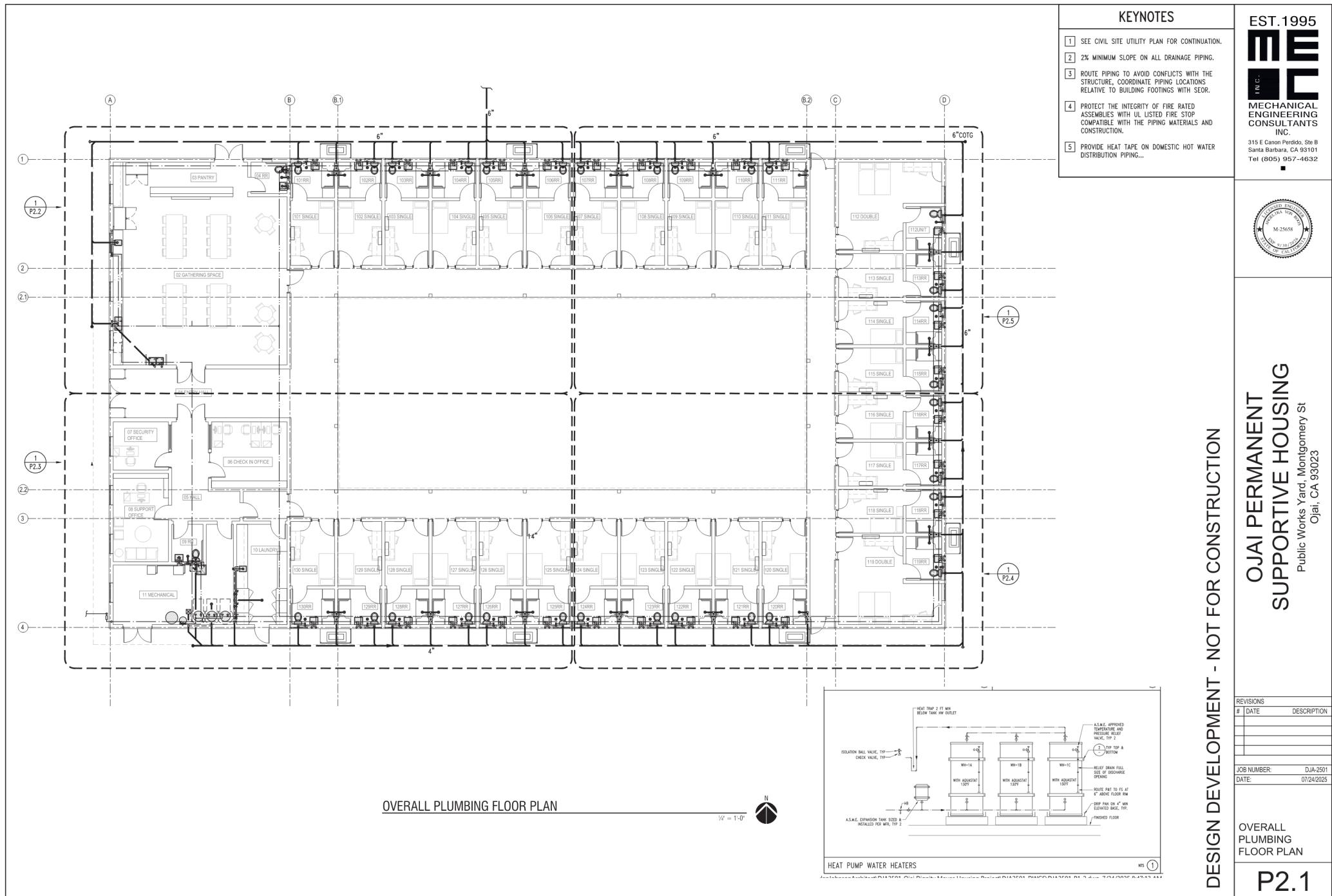
1 ENLARGED MECHANICAL FLOOR PLAN - 124  
ALL SINGLE SUITES SIMILAR 1/4" = 1'-0" N 



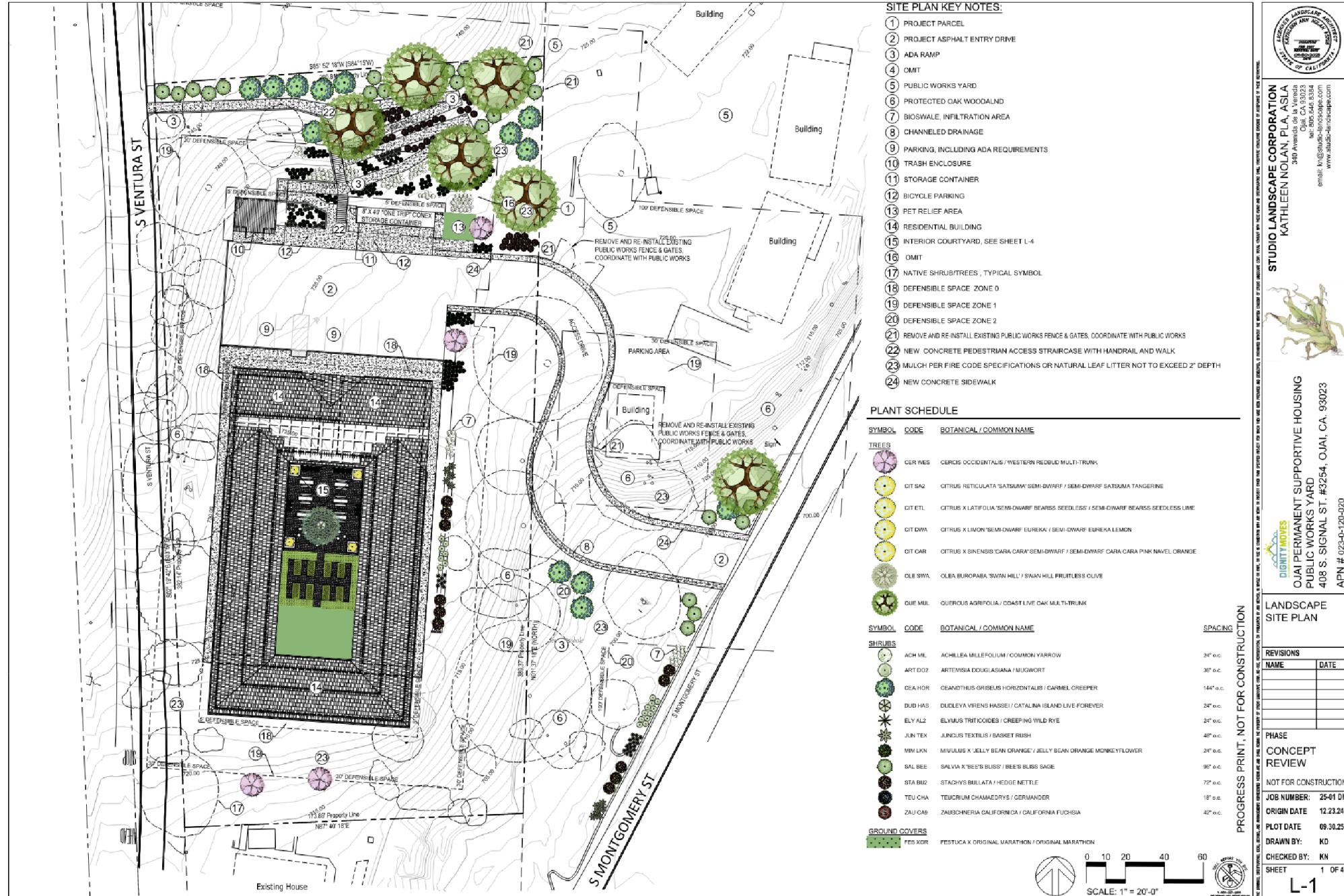
② ENLARGED MECHANICAL FLOOR PLAN - 119  
SUITE 112 SIMILAR 1/4" = 1'-0" N 

E:\DJA-DylanJohnsonArchitect\DJ2501-Ojai Dignity Moves Housing Project\DJ2501-DWGS\DJ2501-M2-4.dwg, 7/24/2025 8:47:10 AM, DWG To PDF.pc3

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**INSPIRATION IMAGERY**

**STUDIO LANDSCAPE CORPORATION**  
KATHLEEN NOLAN, PLA, ASLA  
340 Avenida de la Playa  
Carlsbad, CA 92008  
tel: 800.546.8384  
email: kno@studio-landscape.com  
www.studio-landscape.com

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DRP SUBMITTAL	03/14/25

PHASE

CONCEPT REVIEW

JOB NUMBER: 25-01DM  
ORIGIN DATE: 01.03.25  
PLOT DATE: 09.30.25  
DRAWN BY: AS  
CHECKED BY: KN  
SHEET 2 OF 4

**L-2**

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**1** CENTRAL COURTYARD

**2** CENTRAL SHADE TREE, NON-FRUUITING OLIVE

**3** OUTDOOR DINING, ADA ACCESSIBLE

**4** COMMUNITY GARDENING: RAISED PLANTERS, SMOOTH PLASTER FINISH TO MATCH BUILDING, 18" HT

**5** OUTDOOR SEATING W/ MOVEABLE CHAIRS

**6** PERENNIAL HERB BEDS

**7** PAVERS

**8** FIESTA STRING LIGHTS, DARK SKY FRIENDLY

**9** LAWN

**10** LOW GROUNDCOVER BORDER

**11** 18" HT RAISED PLANTER/CASUAL SEATING W/ DWARF CITRUS TREE

**COURTYARD OLIVE**



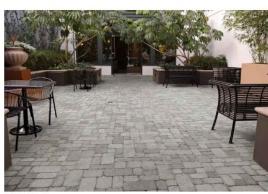
**CLOISTER GARDEN MISSION SAN LUIS REY**



**CLOISTER MUSEUM GARDEN**



**PAVERS**  
COLOR: TERRA COTTA  
FINISH: TUMBLED



**TERRA COTTA PAVERS WITH**  
BRUSHED SAND JOINTS



**FIESTA STRING LIGHTS W/ SHADE**



**DWARF CITRUS TREE**



**RAISED EDIBLE BEDS**



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## LANDSCAPE PLANT IMAGERY

### COURTYARD PLANTING



OLEA EUROPAEA 'SWAN HILL' / SWAN HILL FRUITLESS OLIVE



DWARF CITRUS

### ZONE 1



DIPLOCAUS AURANTIACUS 'JELLY BEAN ORANGE' / JELLY BEAN ORANGE MONKEYFLOWER

### ZONE 2



ZAUSCHNERIA CALIFORNICA / CALIFORNIA FUCHSIA



SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE



CEANOOTHUS G. HORIZONTALIS / CEANOOTHUS

### BIOSWALE/RAINGARDEN



ACHILLEA MILLEFOLIUM / COMMON YARROW



ARTEMESIA DOUGLASIANA / MUGWORT



ELYMUS TRITICOIDES / CREEPING WILD RYE



JUNCUS TEXTILIS / BASKET RUSH



STACHYS BULLATA / HEDGE NETTLE

### SCREENING SHRUBS



FRANGULA CALIFORNICA / COFFEEBERRY



HETEROMELES ARBUTIFOLIA / TOYON



PRUNUS ILLICIFOLIA / HOLLYLEAF CHERRY

## LANDSCAPE MATERIALS & IMAGERY

### LIGHTING



PETAL SHADE  
MODEL: BK-11-BZ  
DIMENSIONS: 7-1/2" W x 3" H  
MATERIAL: ALUMINUM (BZ)  
OUTSIDE FINISH: BRONZE (BZ)  
INSIDE FINISH: WHITE REFLECTIVE  
MFG: LIGHTCRAFT  
MODEL: PETAL SHADE



MFG: SPJ  
MODEL: STEP LIGHT



LICENCED LANDSCAPE ARCHITECTURE ANN NOLAN, PLA, ASLA  
ANN NOLAN  
GENERAL LAW  
02/04/2025  
EXPIRES 02/04/2026  
www.studiob3.com  
email: kn@studib3.com

### STUDIO LANDSCAPE CORPORATION

KATHLEEN NOLAN, PLA, ASLA

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Ojai, CA 93023

tel: 805.646.6334

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SHEET 3 OF 4		



L-3

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## SUSTAINABLE SITE DESIGN

### OVERALL SUSTAINABILITY MEASURES

#### **SITE DESIGN: Resiliency through a whole systems approach**

- Protect existing oaks
- Sensitive siting of structures and materials
- Minimal grading
- Stormwater capture (bioswales & raingardens)

#### **WATER, SOIL + CLIMATE: Regenerative design strategies**

- Minimize albedo/heat island affect (shade trees, structures + materials)
- Climate appropriate plant material to minimize water use & maintenance
- Smart irrigation controller and water efficient system
- Build soil sponge/soil water holding capacity in planted areas
- Apply mulch in open areas for soil protection, weed suppression & H2O retention

#### **HABITAT: Building native plant communities**

- Protect existing oaks
- California native plant species
- Pollinator plants to support friendly wildlife

#### **FIRE SMART LANDSCAPING: Selection, placement + maintenance**

- Zoning & defensible space design
- Fire resistant materials
- Fire wise plant selection, placement & spacing
- Vegetation management

#### **MATERIALS + ENERGY: Efficient design systems**

- Permeable surfaces (bark mulch, bare/natural soil for insect habitat)
- Low voltage LED landscape lighting

#### **COMMUNITY + CIRCULATION: Valuing natural features of site**

- Community gardening w/ edible beds + fruit trees
- Small + large gathering areas
- Shared bike racks
- Connection to street, services, amenities and transportation
- Site wide ADA accessible paths

#### **BIOSWALE AND RAINGARDENS**



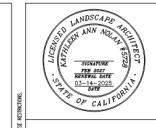
#### **NATIVE SPECIES, POLLINATOR PLANTS & CLIMATE APPROPRIATE**



#### **SITE DESIGN**



#### **ACCESSIBLE PATHS**



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email: kn@studio-landscape.com  
www.studio-landscape.com



DIGNITY HOMES  
OJAI PERMANENT SUPPORTIVE HOUSING  
PUBLIC WORKS YARD  
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APN # 023-0-120-020

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*Q & A and City Council Discussion*